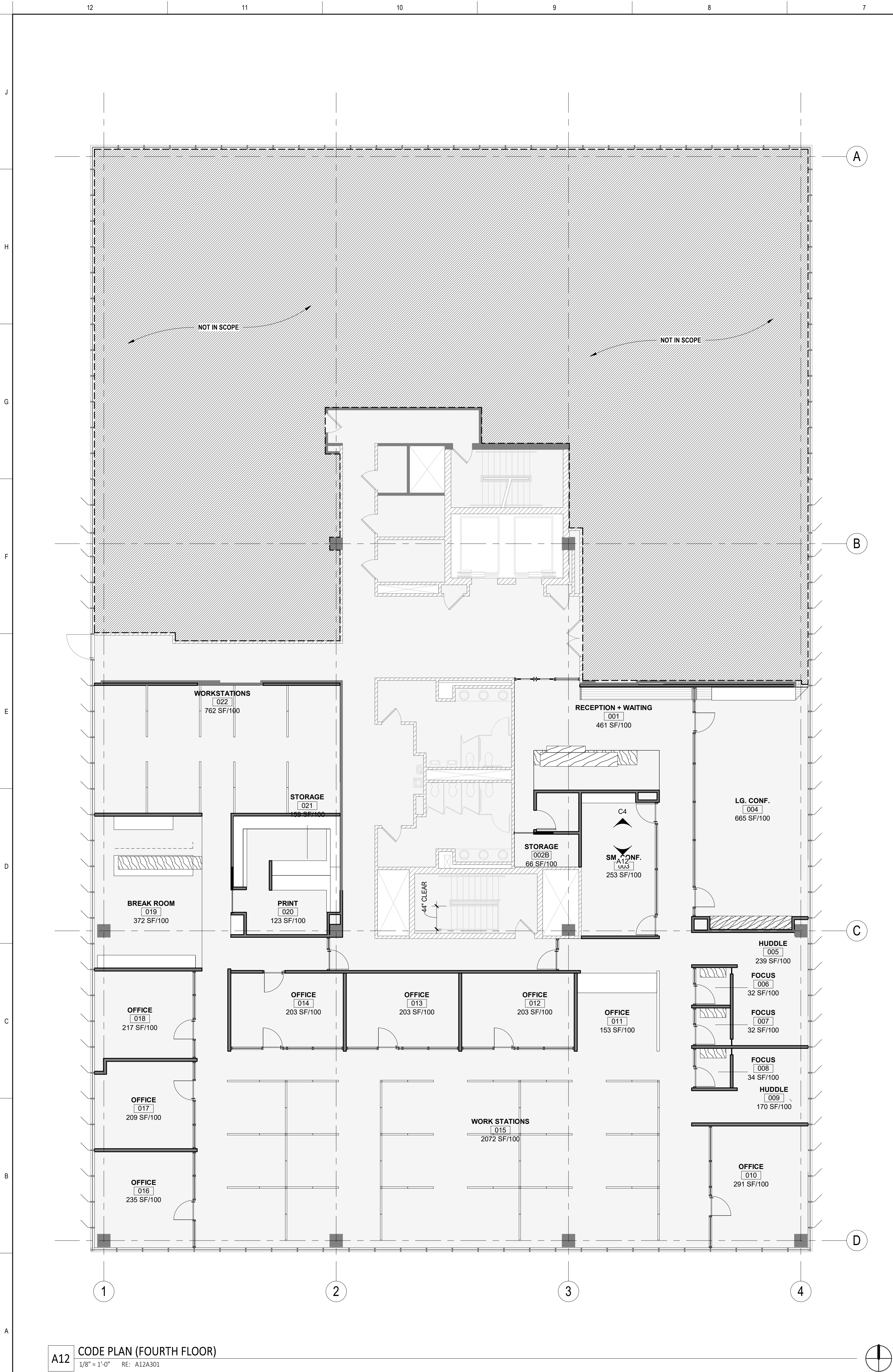
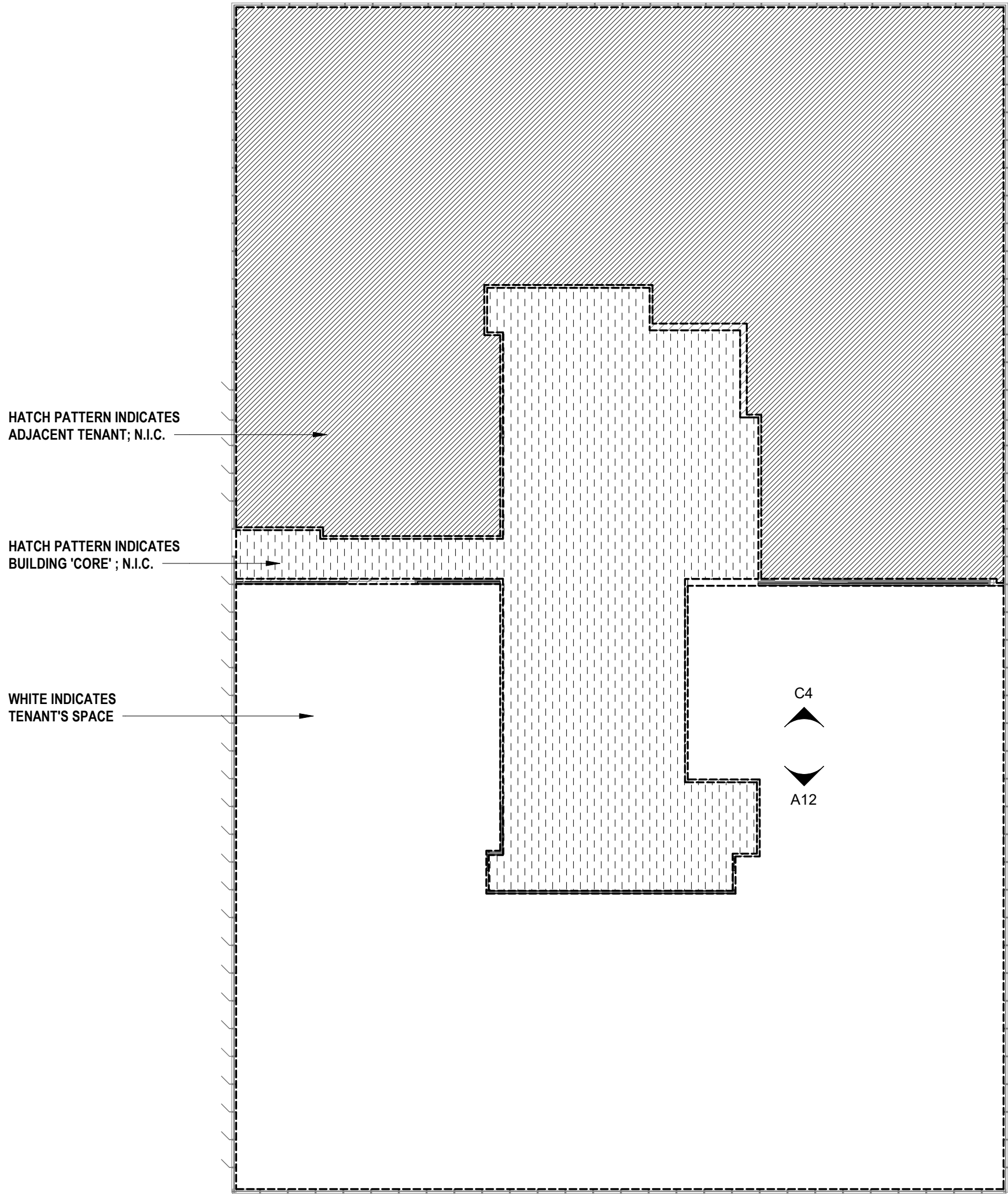


[illegible]



E6 KEY PLAN (FOURTH FLOOR)
1/16" = 1'-0" RE: A12A301



CODE PLAN LEGEND

NEW CONSTRUCTION	1 HR FIRE RATED SEPARATION
EXISTING CONSTRUCTION	2 HR FIRE RATED SEPARATION
CMBUP INDIVIDUAL ROOM EXIT LOAD (PERSON)	ROOM NAME
INDUP COMBINED EXIT LOAD (PERSON)	ROOM NUMBER
FE-# FIRE EXTINGUISHER AND CABINET TYPE DESIGNATION. PORTABLE FIRE EXTINGUISHERS ARE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH NFPA 10. SUPPLY 2A-10BC EXTINGUISHER IN A CABINET (FEC) PER ALL CODES AND ORDINANCES. COORDINATE FINAL LOCATION WITH OWNER.	SQUARE FEET/OCCUPANT LOAD FACTOR
	NUMBER OF OCCUPANTS
	DOOR NUMBER
	OCCUPANT EGRESS
	EGRESS WIDTH REQUIRED
	EGRESS WIDTH PROVIDED

PROJECT INFORMATION
NAME: ECONOMIC DEVELOPMENT CORPORATION OF KANSAS CITY, MISSOURI
CONTACT: BOB LANGENKAMP
LOCATION: 300 WYANDOTTE STREET, KANSAS CITY, MISSOURI, 64105
DESCRIPTION: TENANT INFILL OF AN EXISTING BUILDING. THE PROJECT CONSISTS OF APPROXIMATELY 8,485 SQ FT (USABLE) LOCATED ON THE FOURTH FLOOR AND WILL INCLUDE RENOVATED HVAC, ELECTRICAL, PLUMBING, INTERIOR PARTITIONS, CEILINGS AND MATERIAL FINISHES.

APPLICABLE DESIGN BUILDING CODES AND STANDARDS
2012: INTERNATIONAL BUILDING CODE (IBC)
2012: INTERNATIONAL FIRE CODE (IFC)
2012: INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2011: NATIONAL ELECTRICAL CODE (NEC); NFPA 70
2012: INTERNATIONAL FUEL GAS CODE (IFGC)
2012: INTERNATIONAL PLUMBING CODE (IPC)
2012: INTERNATIONAL MECHANICAL CODE (IMC)
2010: ADA ACCESSIBILITY GUIDELINES (ADAAG)

PROJECT DATA SUMMARY
OCCUPANCY CLASSIFICATION: B (8,485 SF / 100 = 84.85, 85);
TOTAL OCCUPANCY: 85
CONSTRUCTION TYPE: I-B
ALLOWABLE AREA: UL (TABLE 503)
ALLOWABLE HEIGHT: 160'
ZONING: UR /// URBAN REDEVELOPMENT
LAND USE CODE: 2310 (OFFICE)

INCIDENTAL USE AREAS - SEPARATION-PROTECTION REQUIREMENTS (TABLE 509)
THE FOLLOWING INCIDENTAL USE AREAS SHALL BE SEPARATED FROM THE REMAINDER OF THE BUILDING BY CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF SMOKE AND BY CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF FIRE OR PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM.

- STORAGE ROOMS + PRINT ROOMS OVER 100 SF;
- MECHANICAL ROOMS, WHERE ANY PIECE OF EQUIPMENT IS OVER 400,000 BTU/HR OUTPUT OR BOILERS OVER 15 PSI 10 HP.

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HRS) - (TYPE IB; TABLE 601)
STRUCTURAL FRAME (COLUMNS, GIRDERS, BEAMS, TRUSSES SPANDRELS): 2 HRS
BEARING WALLS (EXTERIOR): 2 HRS
BEARING WALLS (INTERIOR): 2 HRS
NON-BEARING WALLS (EXTERIOR): 0 HRS
NON-BEARING WALLS (INTERIOR): 0 HRS
FLOOR CONSTRUCTION (BEAMS, JOISTS, DECKING): 2 HRS
ROOF CONSTRUCTION (BEAMS, JOISTS, DECKING): 1 HRS

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (HRS) (TABLE 602)
USE GROUP: B, BUSINESS
FIRE SEPARATION DISTANCE IN FEET (HRS): $X \geq 30' = 0$ HRS RATING

OCCUPANCY LOAD CRITERIA (1004; TABLE 1004.1.2)
(SEE CODE PLANS FOR OCCUPANCY AND EGRESS PLAN CALCULATIONS)
BUSINESS AREAS: 100SF GROSS / OCC.

EGRESS WIDTH PER OCCUPANT SERVED (FULLY SPRINKLERED BUILDING)
STAIRWAYS (INCHES) OCCUPANT: 0.22
44" WIDE STAIR (44" CLEAR) = 220 MAX OCCUPANTS
60" WIDE STAIR (60" CLEAR) = 300 MAX OCCUPANTS
72" WIDE STAIR (72" CLEAR) = 360 MAX OCCUPANTS

OTHER EGRESS COMPONENTS (INCHES) OCCUPANT: 0.15"
36" DOOR (36" clear) = 220 MAX OCCUPANTS
72" DOOR (68" clear) = 340 MAX OCCUPANTS

COMMON PATH OF EGRESS TRAVEL (1014.3)
OCCUPANCY - B: 100'

EXIT ACCESS TRAVEL DISTANCE (1016.2)
OCCUPANCY - B: 300'

NUMBER OF EXITS PER OCCUPANT LOAD (1015.1)
1 EXITS: 48 MAX
2 EXITS: 1-500
3 EXITS: 501-1,000
4 EXITS: GREATER THAN 1000

NOTE: SECTION 1015.2.1, EXCEPTION 2 (WITH AN AUTOMATIC SPRINKLER SYSTEM); SEPARATION DISTANCE OF EXIT DOORS OR EXIT ACCESS SHALL NOT BE LESS THAN 1/3 THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION.

MINIMUM CORRIDOR WIDTH (1018.2)
THE MINIMUM CORRIDOR WIDTH SHALL BE AS DETERMINED BY THE NUMBER OF OCCUPANTS SERVED, BUT NOT LESS THAN 44"; OR 36" CLEAR WITH A REQUIRED CAPACITY OF LESS THAN 50.

DEAD ENDS (1018.4)
50' IN LENGTH

*** EXCEPTION 2. IN OCCUPANCIES IN GROUPS B, E, F, I-1, M, R-1, R-2, R-4, S AND U, WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, THE LENGTH OF THE DEAD-END CORRIDORS SHALL NOT EXCEED 50 FEET.

PLUMBING CODE REVIEW (TABLE 2902.1)
THE PLUMBING FIXTURES ARE EXISTING AND SHARED AS PART OF THE CORE BUILDING. THESE ROOMS AND ENTAILED FIXTURES ARE N.I.C. AND NOT IN SCOPE.

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES:

OCCUPANCY TYPE: B
WATER CLOSETS REQ. (MALE): 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50
WATER CLOSETS REQ. (FEMALE): 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50
LAVATORIES REQ. (M / F): 1 PER 40 FOR THE FIRST 50 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80
DRINKING FOUNTAINS: 1 PER 100
SERVICE SINKS: 1

TOTAL OCCUPANTS :				85			
OCC.	PEOPLE	WCs	REQ. / PROVIDED	LAVS	REQ. / PROVIDED	DRINKING FOUNTAINS	REQ. / PROVIDED
M:	43	2	4	2	3	1	1
W:	43	2	4	2	3	1	1
TOTAL:	86	4	8	4	6	1	2

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHO
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING HEREIN SHALL NOT BE DUPLICATED, REPRODUCED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

PROPORTION IN CHARGE:

D MAGINN
PROJECT TEAM MEMBERS
S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

RELEASE SCHEDULE

NO RELEASE DATE

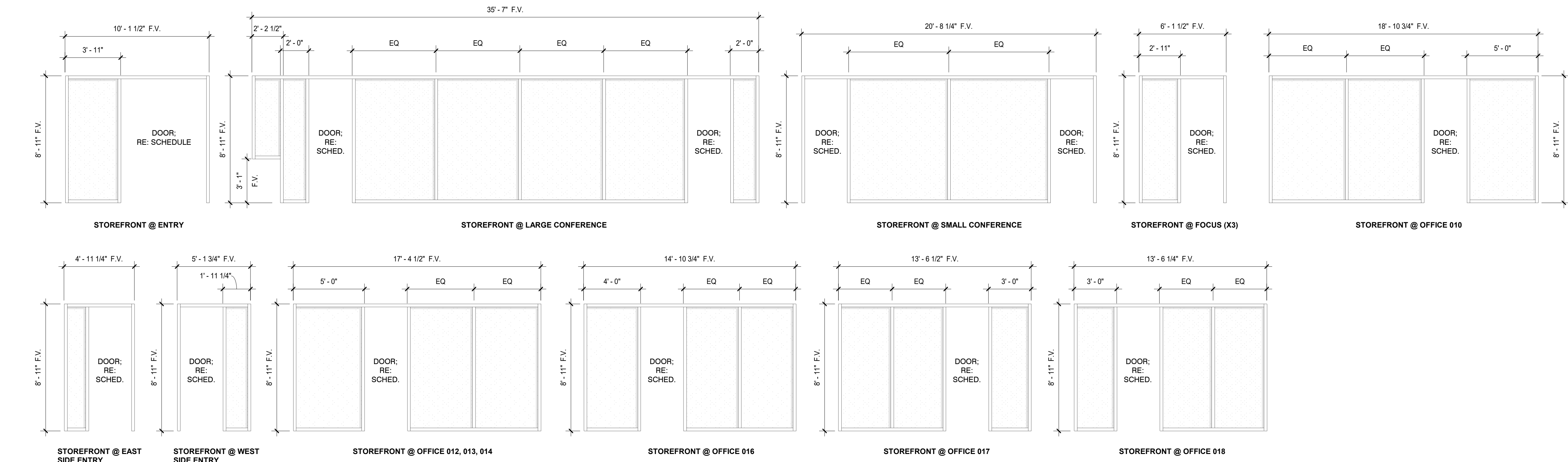
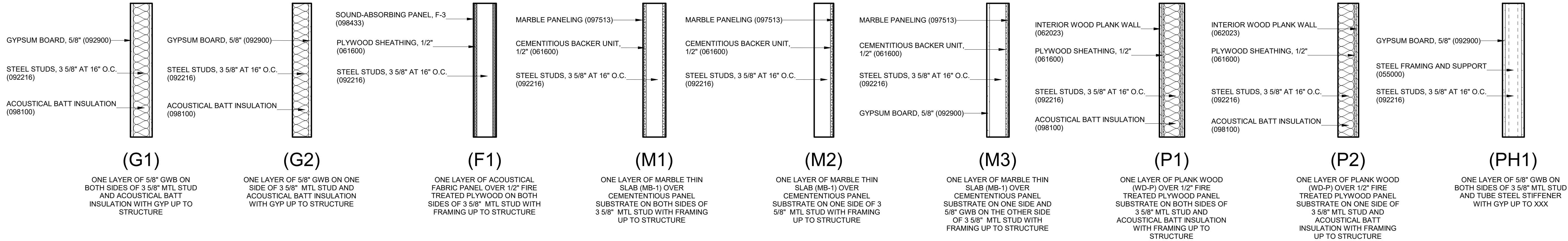
CODE SUMMARY

G001

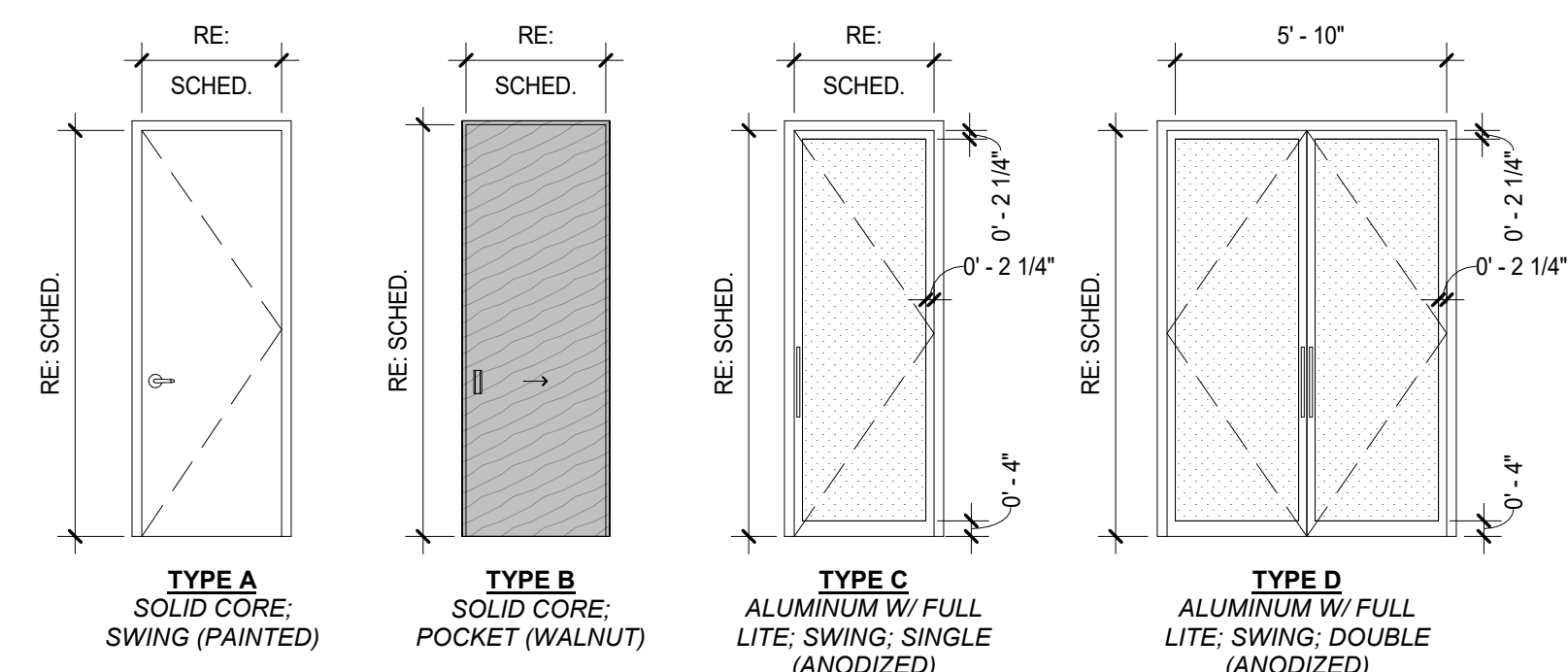
NOT FOR CONSTRUCTION

Printed 11/19/2018 2:26:33 PM

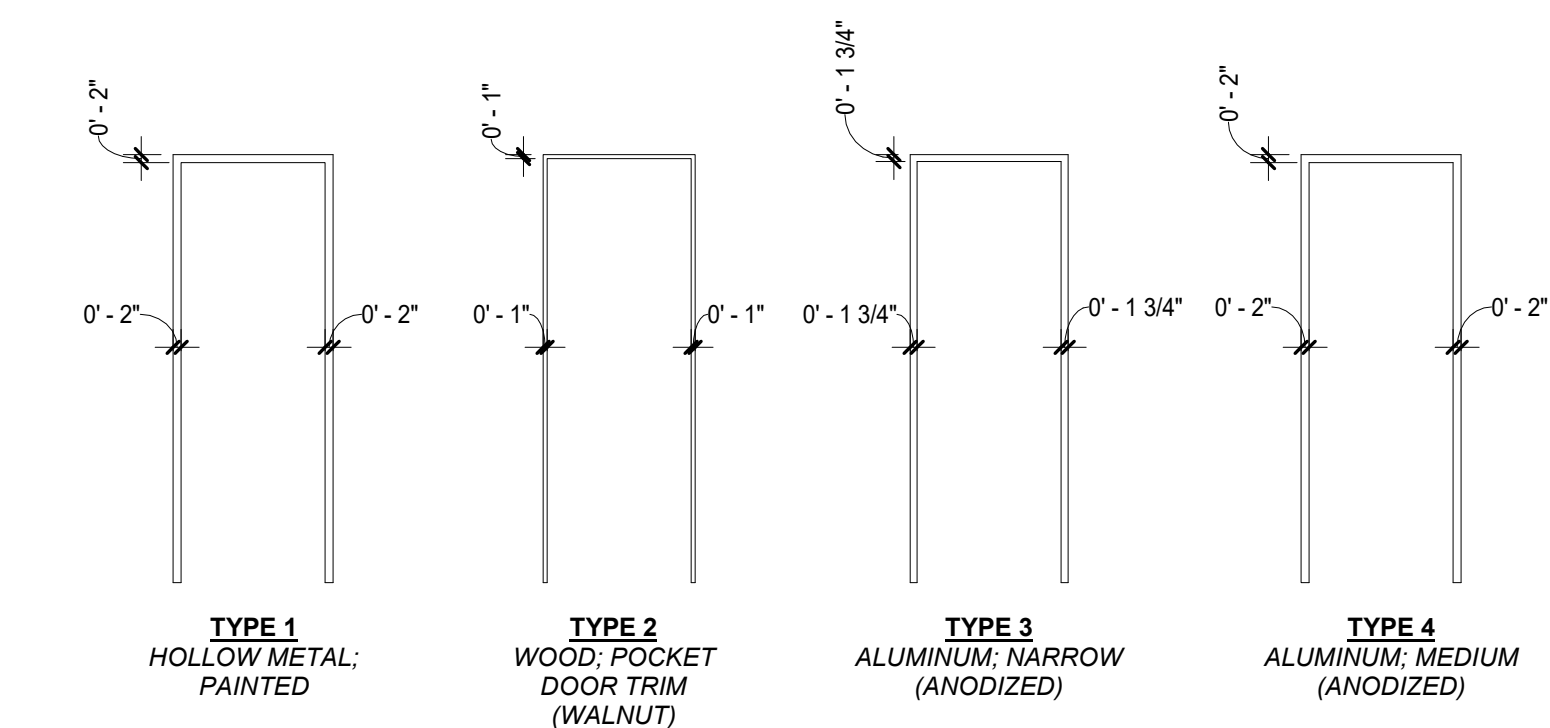
G12 TYPES - WALLS
1" = 1'-0"



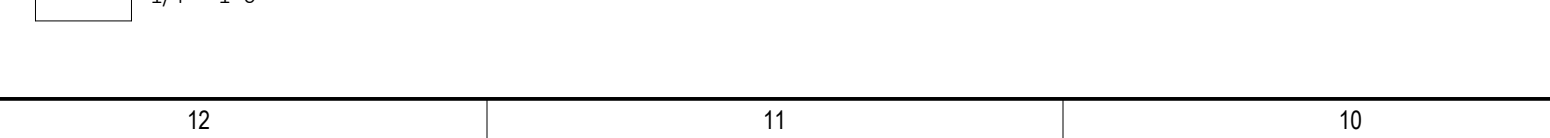
D12 STOREFRONT TYPES
1/4" = 1'-0"



B12 TYPES - DOORS
1/4" = 1'-0"

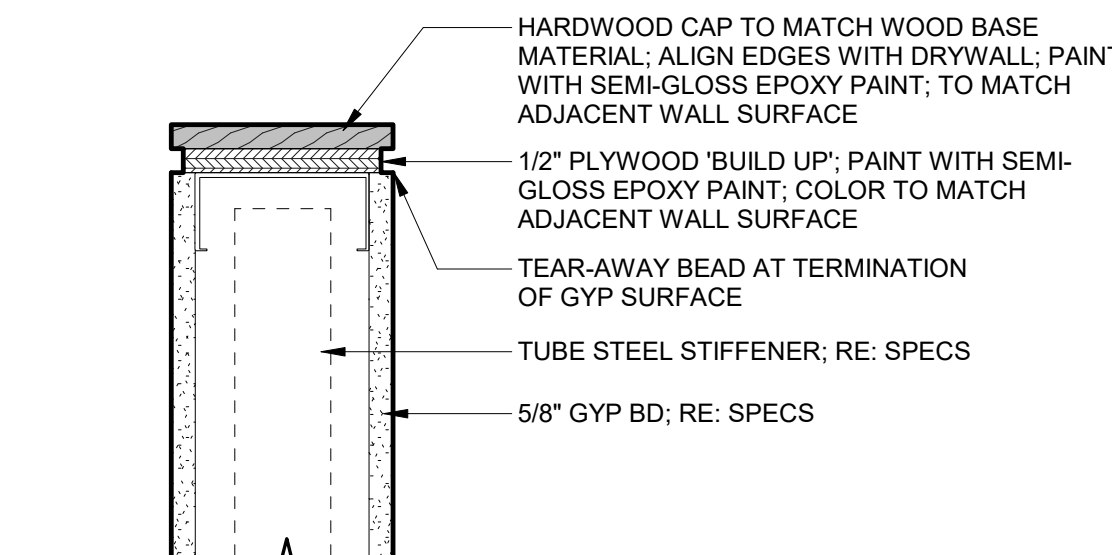


A12 TYPES - FRAMES
1/4" = 1'-0"

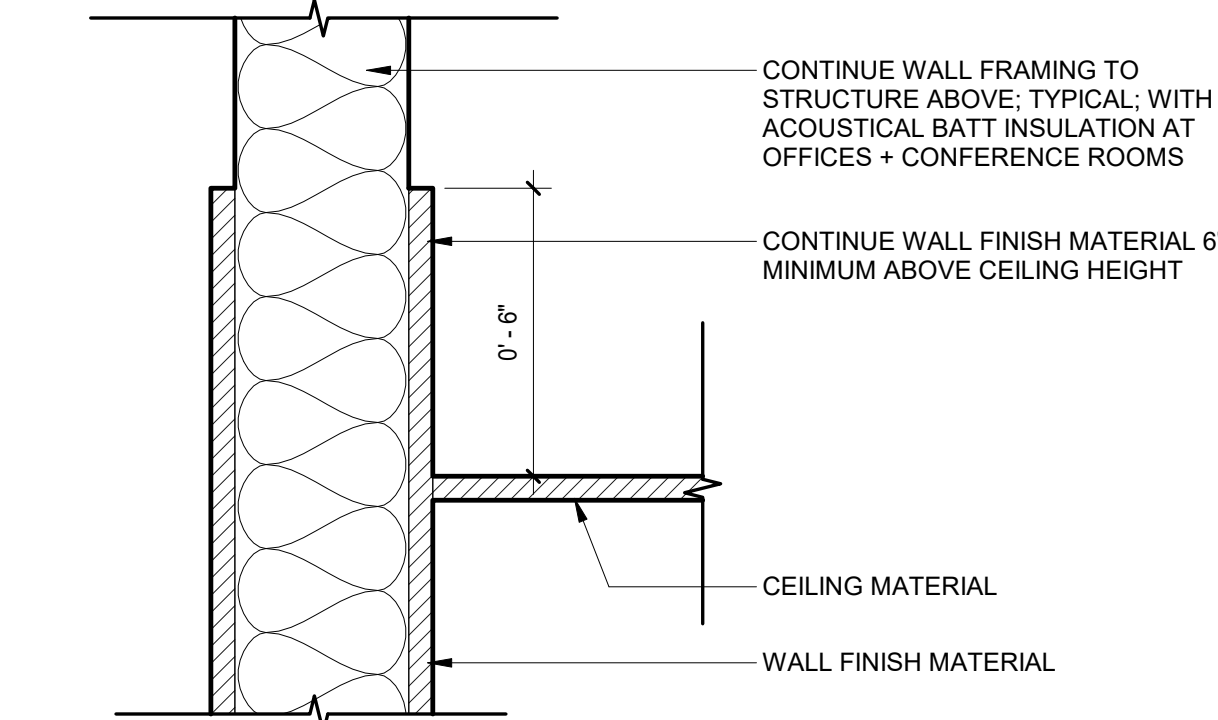


DOOR & FRAME SCHEDULE									
DOOR NUMBER	DOOR				GLASS TYPE	FRAME			REFERENCED GENERAL NOTES
	TYPE	MATERIAL	WIDTH	HEIGHT		MATERIAL	TYPE	HARDWARE	
000.1	C	ALUM. + GLASS	3'-0"	8'-8 1/2"	1" IGU	ALUM.	3		
000.2	C	ALUM. + GLASS	3'-0"	8'-8 1/2"	1" IGU	ALUM.	3		
001.1	D	ALUM. + GLASS	6'-0"	8'-8 1/2"	1" IGU	ALUM.	4		
002.1	A	WOOD	3'-0"	8'-11"	-	H.M.	1		
002.2	B	WOOD (WALNUT)	3'-0"	8'-11"	-	WOOD	2		
003.1	C	ALUM. + GLASS	3'-0"	8'-8 1/2"	1" IGU	ALUM.	4		
003.2	C	ALUM. + GLASS	3'-0"	8'-11"	1" IGU	ALUM.	4		
004.1	C	ALUM. + GLASS	3'-0 1/2"	8'-11"	1" IGU	ALUM.	4		
004.2	C	ALUM. + GLASS	3'-0"	8'-11"	1" IGU	ALUM.	4		
006.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	4		
007.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	4		
008.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	4		
010.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	3		
012.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	3		
013.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	3		
014.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	3		
014.2	C	ALUM. + GLASS	3'-0"	8'-8 1/2"	1/4" TEMPERED	ALUM.	3		
016.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	3		
017.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	3		
018.1	C	ALUM. + GLASS	3'-0"	8'-11"	1/4" TEMPERED	ALUM.	3		
020.1	B	WOOD	3'-6"	8'-10"	-	WOOD	2		

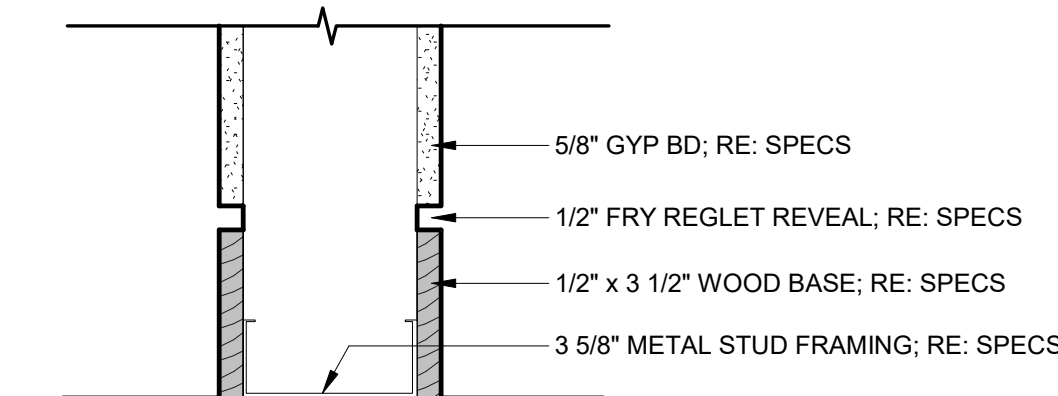
A7 TYPICAL CAP DETAIL
3" = 1'-0"



B5 TYPICAL DETAIL (WALL MEETS CEILING)
3" = 1'-0"



A5 TYPICAL BASE DETAIL
3" = 1'-0"



GENERAL NOTES - PARTITIONS

- REFER TO PARTITION TYPE SYMBOLS ON FLOOR PLANS.
- REFER TO CODE PLAN FOR MINIMUM REQUIRED FIRE RATING IN HOURS.
- PARTITION TYPES DO NOT INDICATE WHICH SIDE FINISH MATERIALS ARE APPLIED. REFER TO FINISH PLAN + INTERIOR ELEVATIONS.
- REFER TO THE PROJECT MANUAL FOR MINIMUM GAGE STUDS, RUNNERS, FURRING CHANNELS, MISC. ANGLES & CLIPS.
- FIRE RATED WALLS SHALL MAINTAIN FIRE RATING AS SCHEDULED CONTINUOUSLY TO UNDERSIDE OF SLAB OR ROOF DECK.
- PARTITIONS ARE DIMENSIONED TO THE FACE OF THE GYPSUM VENEER/BACKER BOARD - NOT APPLIED FINISH MATERIAL (i.e. VENEER, CERAMIC TILE, ETC.).
- COORDINATE THE LOCATION OF FIRE RATED PARTITIONS WITH CODE PLANS.
- HOLD ALL GYPSUM BOARD 12" ABOVE CONCRETE SLAB TO AVOID WICKING ACTION.
- CONTRACTOR TO PROVIDE FIRE RETARDANT BLOCKING IN FIRE RATED WALLS AS NECESSARY TO MOUNT FIXTURES, RAILS, MILLWORK, AND ACCESSORIES PER MANUFACTURER'S RECOMMENDATIONS TO MEET APPLICABLE BUILDING CODES.
- FIRE STOPPING IS REQUIRED AT: A. ALL PENETRATIONS THROUGH FIRE AND SMOKE RESISTIVE FLOOR AND ROOF CONSTRUCTION. B. ALL VOIDS AND JOINTS AT TOP AND BOTTOM OF ALL FIRE AND SMOKE RESISTIVE WALLS AND PARTITIONS AND FIRE RESISTIVE FLOOR AND ROOF CONSTRUCTION.
- WHERE GYPSUM BOARD IS INDICATED TO BE INSTALLED AT WET LOCATIONS, INCLUDING BUT NOT LIMITED TO TOILETS AND JANITOR'S CLOSETS, MOISTURE AND MOLD-RESISTANT GYPSUM BOARD SHALL BE PROVIDED.
- PROVIDE RESILIENT CHANNELS AT ALL PERIMETER WALLS OF OFFICES AND CONFERENCE ROOMS.
- ALL METAL STUD FRAMING TO EXTEND AND SECURE TO STRUCTURE

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP
1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

PROPOSAL IN CHARGE:
D MAGINN
PROJECT TEAM MEMBERS:
S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

RELEASE SCHEDULE

NO RELEASE

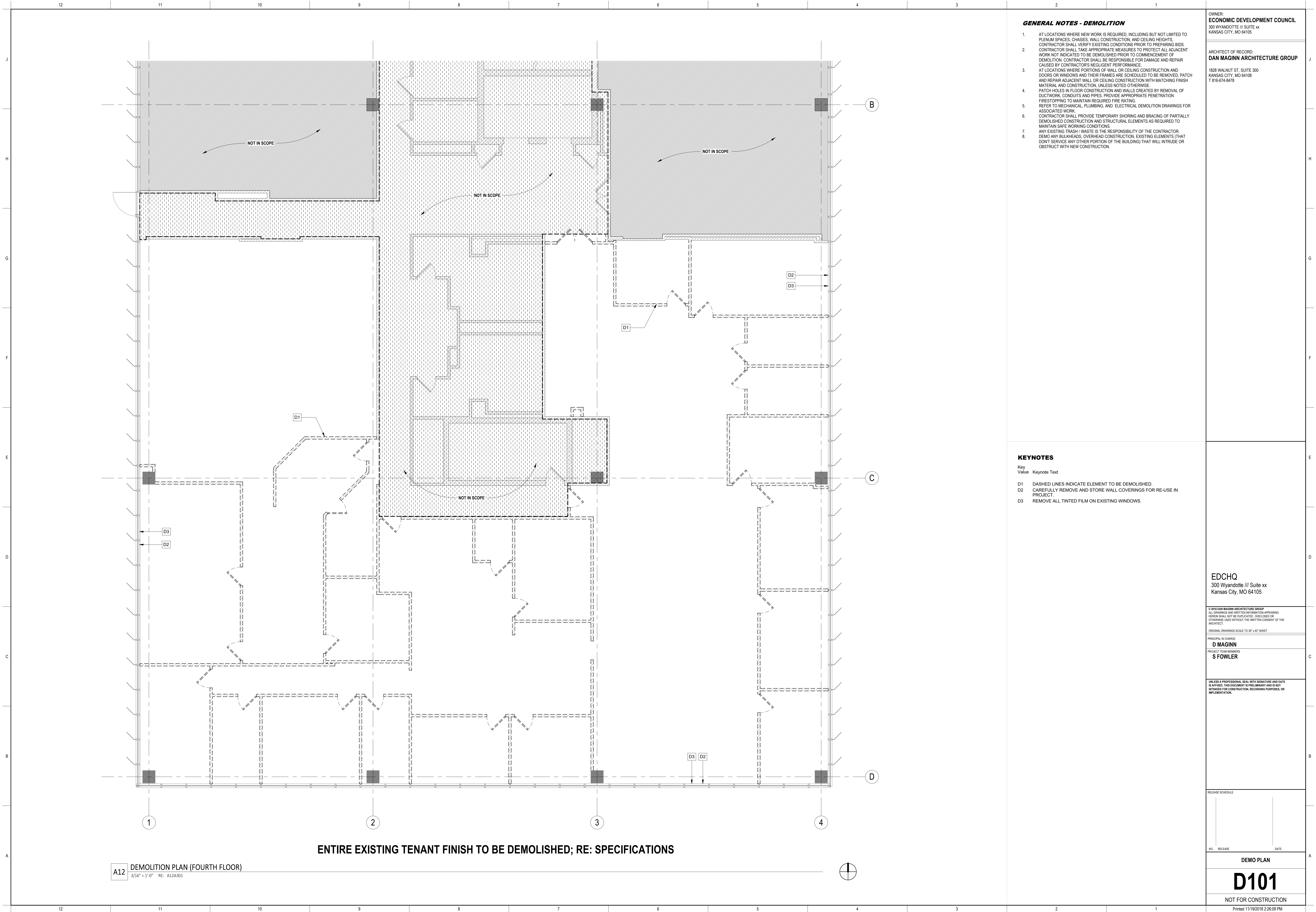
DATE

GENERAL INFO

G002

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:26:46 PM



GENERAL NOTES - DEMOLITION

1. AT LOCATIONS WHERE NEW WORK IS REQUIRED, INCLUDING BUT NOT LIMITED TO PLENUM SPACES, CHAISES, WALL CONSTRUCTION, AND CEILING HEIGHTS, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO PREPARING BIDS. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL ADJACENT WORK NOT INDICATED TO BE DEMOLISHED PRIOR TO COMMENCEMENT OF DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND REPAIR CAUSED BY CONTRACTOR'S NEGLIGENT PERFORMANCE.
2. AT LOCATIONS WHERE PORTIONS OF WALL OR CEILING CONSTRUCTION AND DOORS OR WINDOWS AND THEIR FRAMES ARE SCHEDULED TO BE REMOVED, PATCH AND REPAIR ADJACENT WALL OR CEILING CONSTRUCTION WITH MATCHING FINISH MATERIAL AND CONSTRUCTION, UNLESS NOTED OTHERWISE.
3. PATCH HOLES IN FLOOR CONSTRUCTION AND WALLS CREATED BY REMOVAL OF DUCTWORK, CONDUITS AND PIPES, PROVIDE APPROPRIATE PENETRATION FIRESTOPPING TO MAINTAIN REQUIRED FIRE RATING.
4. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION DRAWINGS FOR ASSOCIATED WORK.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING OF PARTIALLY DEMOLISHED CONSTRUCTION AND STRUCTURAL ELEMENTS AS REQUIRED TO MAINTAIN SAFE WORKING CONDITIONS.
6. ANY EXISTING TRASH / WASTE IS THE RESPONSIBILITY OF THE CONTRACTOR. DEMO ANY BULKHEADS, OVERHEAD CONSTRUCTION, EXISTING ELEMENTS (THAT DON'T SERVICE ANY OTHER PORTION OF THE BUILDING) THAT WILL INTRUDE OR OBSTRUCT WITH NEW CONSTRUCTION.
- 7.
- 8.

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

KEYNOTES

Key Value Keynote Text

- D1 DASHED LINES INDICATE ELEMENT TO BE DEMOLISHED.
D2 CAREFULLY REMOVE AND STORE WALL COVERINGS FOR RE-USE IN PROJECT.
D3 REMOVE ALL TINTED FILM ON EXISTING WINDOWS.

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE

D MAGINN

PROJECT TEAM MEMBERS

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

RELEASE SCHEDULE

NO RELEASE DATE

DEMO PLAN

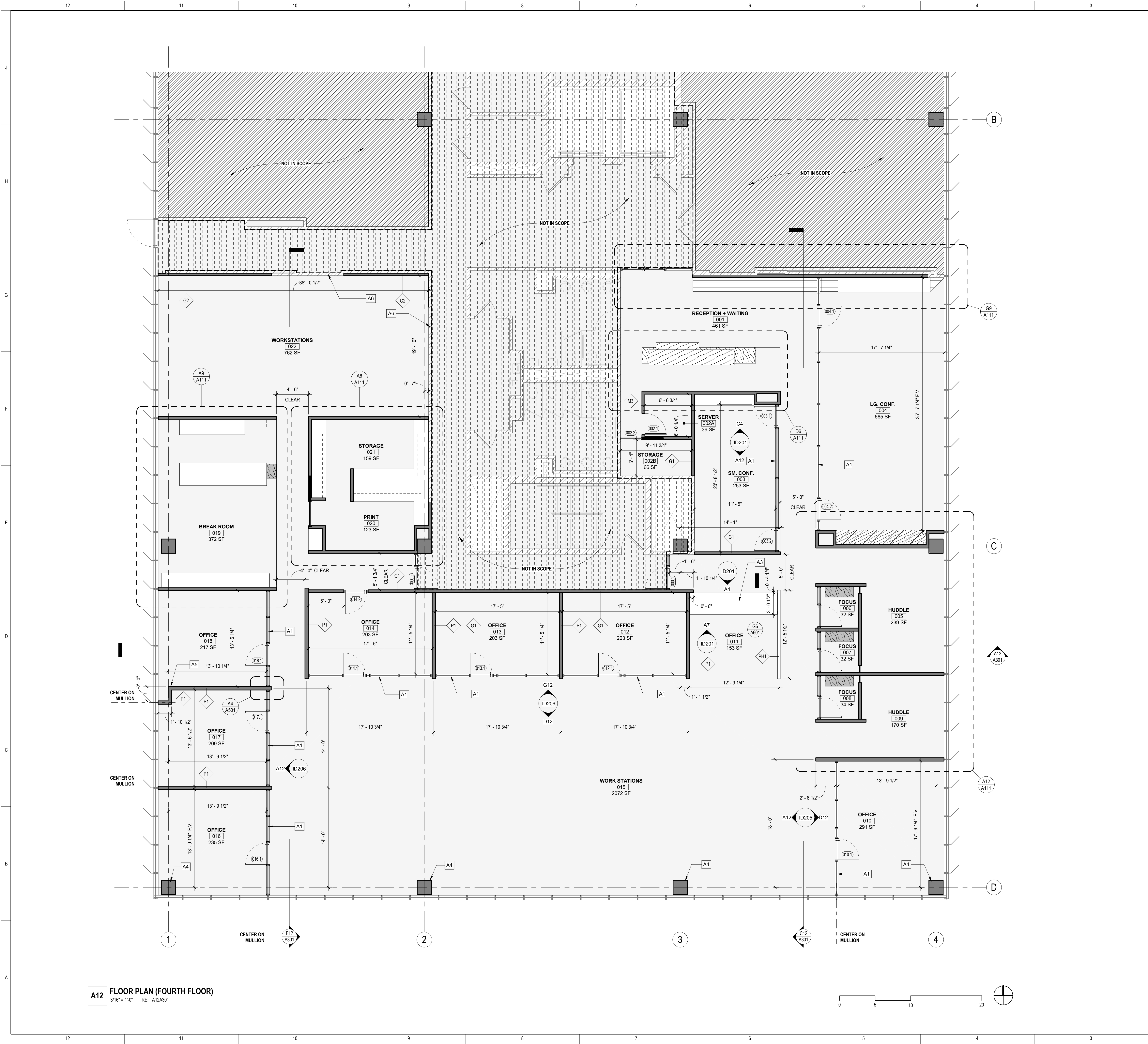
D101

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:26:09 PM

A12 DEMOLITION PLAN (FOURTH FLOOR)
3/16" = 1'-0" RE: A12A301

ENTIRE EXISTING TENANT FINISH TO BE DEMOLISHED; RE: SPECIFICATIONS



A12 FLOOR PLAN (FOURTH FLOOR)
3/16" = 1'-0" RE: A12A301

GENERAL NOTES - FLOOR PLAN

- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSION PRIOR TO START OF WORK. IN THE EVENT OF DISCREPANCY, NOTIFY ARCHITECT AND OBTAIN RESOLUTION BEFORE PROCEEDING.
- NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
- WHERE EXISTING CONSTRUCTION AND GRIDS ARE INDICATED, CONTRACTOR SHALL VERIFY EXISTING DIMENSIONED GRIDS PRIOR TO PERFORMING LAYOUT WORK REQUIRED FOR INSTALLATION OF NEW WORK.
- VERIFY EXISTING DIMENSIONS, CONDITIONS AND CLEARANCES PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- ALL SLEEVES, OPENINGS, ETC. FOR CONDUIT, PIPES, DUCTS, ETC. (OUTSIDE OF RATED CHASES) THROUGH FLOOR SLABS AND RATED PARTITIONS ARE TO BE FIRE SEALED IN ACCORDANCE WITH FIRE RATED ASSEMBLY DESIGNS, APPLICABLE CODES AND FIRE MARSHAL'S REQUIREMENTS.
- PROVIDE A MINIMUM OF 3/4" FIRE-RETARDANT TREATED WOOD BLOCKING OR 18 GA. MINIMUM STEEL PLATE BLOCKING AS REQUIRED WITHIN STEEL STUD FRAMED PARTITIONS FOR SECURE AND PROPER ATTACHMENT OF NEW WORK, INCLUDING BUT NOT LIMITED TO AV EQUIPMENT, MILLWORK, VISUAL DISPLAY SURFACES, SIGNAGE, AND FURNISHINGS WHERE INDICATED ON PLANS.
- WHERE WORK OCCURS IN AREAS WITH EXISTING FINISHES TO REMAIN, REFINISH DISTURBED AREAS TO MATCH EXISTING FINISHES AND MATERIALS UNLESS NOTED OR DIRECTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND DETAIL SHOWN ON THE DRAWINGS. ANY DISCREPANCIES WHICH WILL PREVENT THE ACCOMPLISHMENT OF INTENT SHOWN ON DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. INDICATED CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR.
- WHERE CONDUIT, PIPES, DUCTS, ETC. ARE INDICATED TO BE INSTALLED IN EXISTING WALLS AND NO FURRING IS SHOWN, THE WALLS SHALL BE NEATLY CHASED, CONDUITS, ETC. INSTALLED, AND WALLS PATCHED TO MATCH EXISTING. IN AREAS OF NEW PARTITIONS WHERE CONDUITS, DUCTS, PIPING, ETC. PASS THROUGH FINISHED SPACES, ROUTE WITHIN PARTITION CONSTRUCTION.
- PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF THE WORK TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- (#####) INDICATES REFERENCED SPECIFICATIONS FOR PRODUCTS AND MATERIALS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PROJECT MANUAL.

KEYNOTES

Key Value	Keynote Text
A1	ALUMINUM STOREFRONT SYSTEM AND GLAZING; 084113; RE: G002.
A3	METAL COUNTERTOP AT THIS LOCATION; 057000.
A4	EXISTING COLUMN; CLEAN, PATCH AND REPAIR AS REQUIRED.
A5	NOTCH WALL AT THIS LOCATION TO ALIGN WITH CENTERLINE OF EXISTING MULLION.
A6	EXISTING GYP WALL AT THIS LOCATION; PATCH, REPAIR PRIOR TO PAINTING.

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHO
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE:

D MAGINN

PROJECT TEAM MEMBERS

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

RELEASE SCHEDULE

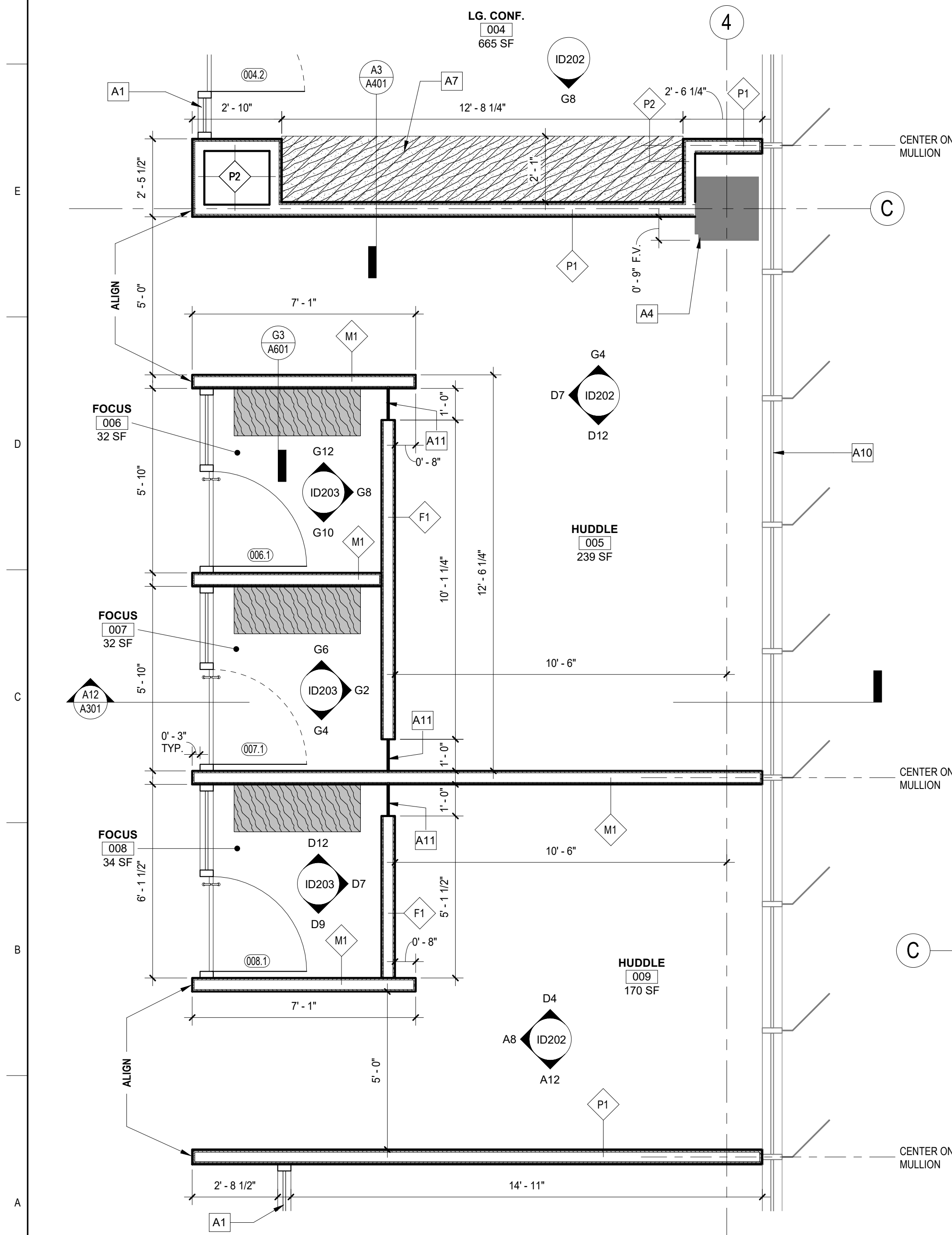
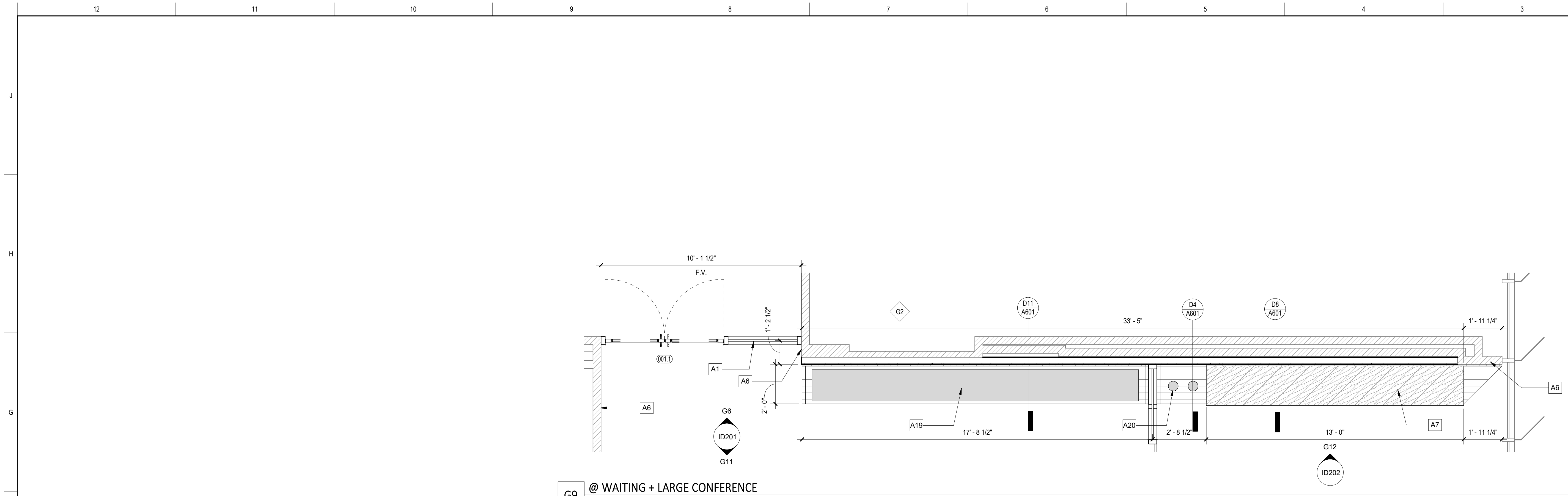
NO RELEASE DATE

FLOOR PLAN

A101

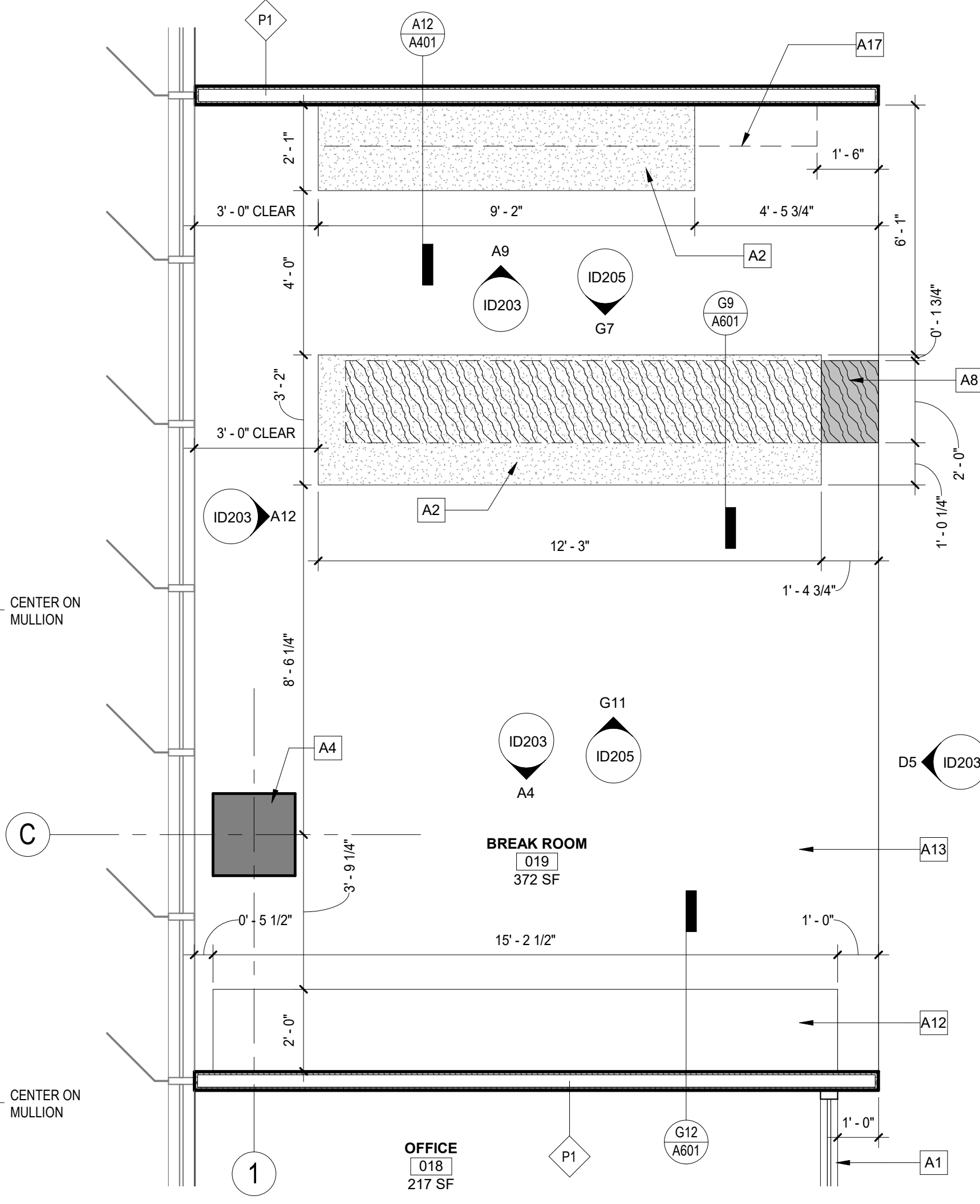
NOT FOR CONSTRUCTION

Printed 11/19/2018 2:21:55 PM

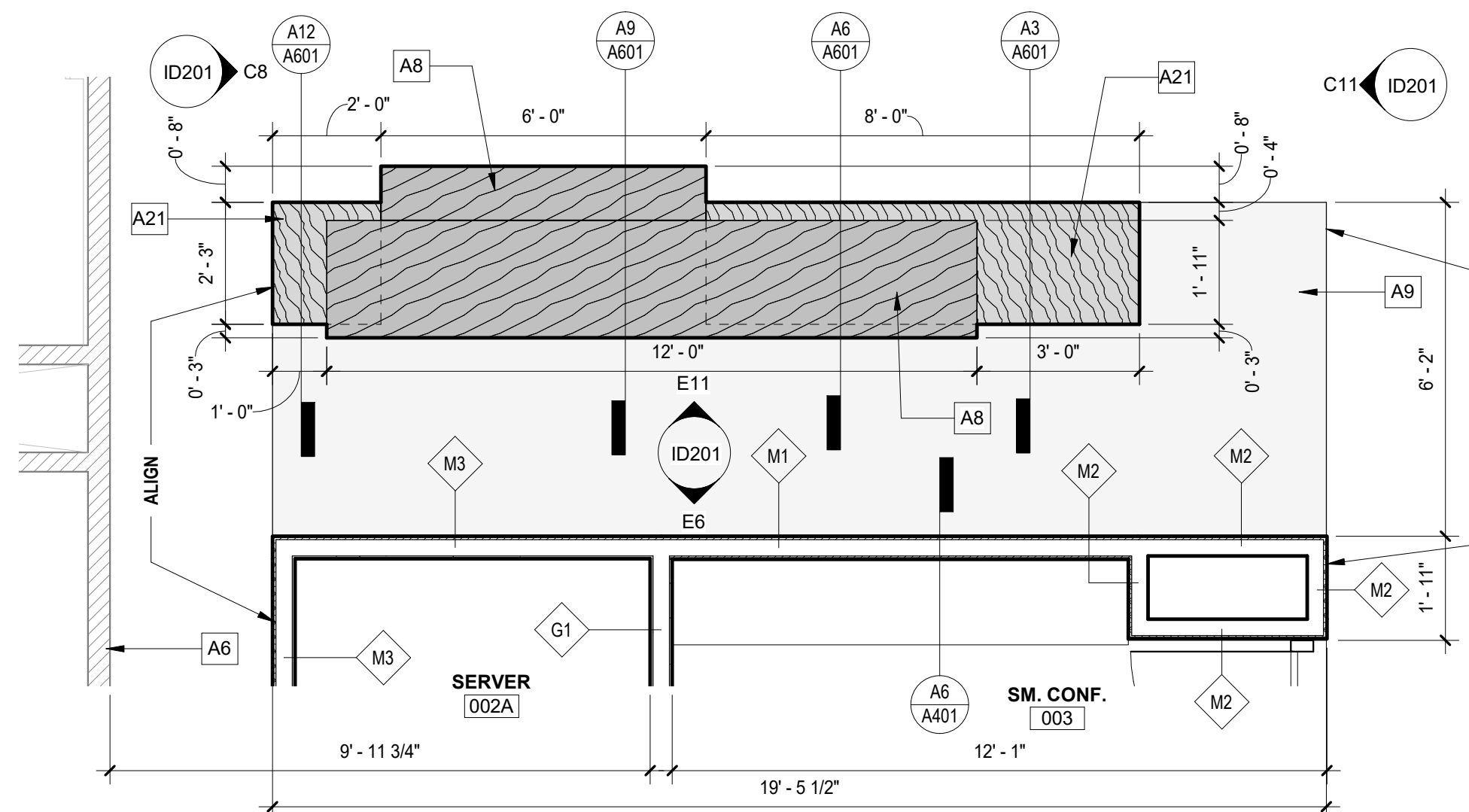


A12 @ FOCUS + HUDDLE
3/8" = 1'-0" RE: A12A101

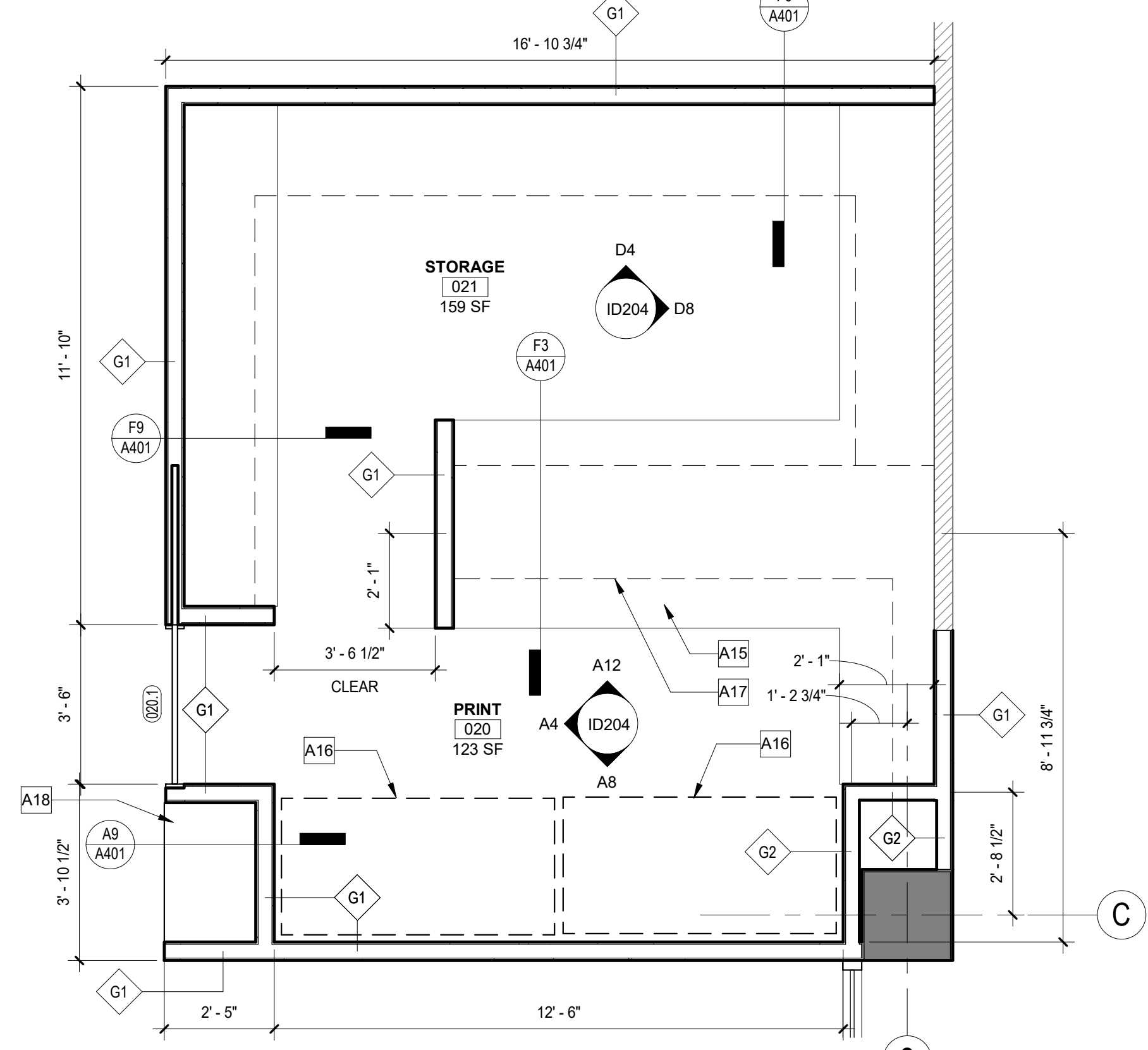
G9 @ WAITING + LARGE CONFERENCE
3/8" = 1'-0" RE: A12A101



A9 @ BREAK ROOM + CAFE
3/8" = 1'-0" RE: A12A101



D6 @ RECEPTION
3/8" = 1'-0" RE: A12A101



A6 @ STORAGE + PRINT
3/8" = 1'-0" RE: A12A101

GENERAL NOTES - FLOOR PLAN

- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSION PRIOR TO START OF WORK. IN THE EVENT OF DISCREPANCY, NOTIFY ARCHITECT AND OBTAIN RESOLUTION BEFORE PROCEEDING.
- NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
- WHERE EXISTING CONSTRUCTION AND GRIDS ARE INDICATED, CONTRACTOR SHALL VERIFY EXISTING DIMENSIONED GRIDS PRIOR TO PERFORMING LAYOUT WORK REQUIRED FOR INSTALLATION OF NEW WORK.
- VERIFY EXISTING DIMENSIONS, CONDITIONS AND CLEARANCES PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- ALL SLEEVES, OPENINGS, ETC. FOR CONDUIT, PIPES, DUCTS, ETC. (OUTSIDE OF RATED CHASES) THROUGH FLOOR SLABS AND RATED PARTITIONS ARE TO BE FIRE SEALED IN ACCORDANCE WITH FIRE-RATED ASSEMBLY DESIGN, APPLICABLE CODES AND FIRE MARSHAL'S REQUIREMENTS.
- PROVIDE A MINIMUM OF 3/4" FIRE-RETARANT TREATED WOOD BLOCKING OR 18 GA. MINIMUM STEEL PLATE BLOCKING AS REQUIRED WITHIN STEEL STUD FRAMED PARTITIONS FOR SECURE AND PROPER ATTACHMENT OF NEW WORK, INCLUDING BUT NOT LIMITED TO AV EQUIPMENT, MILLWORK, VISUAL DISPLAY SURFACES, SIGNAGE, AND FURNISHINGS WHERE INDICATED ON PLANS.
- WHERE WORK OCCURS IN AREAS WITH EXISTING FINISHES TO REMAIN, REFINISH DISTURBED AREAS TO MATCH EXISTING FINISHES AND MATERIALS UNLESS NOTED OR DIRECTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND DETAIL SHOWN ON THE DRAWINGS. ANY DISCREPANCIES WHICH WILL PREVENT THE ACCOMPLISHMENT OF INTENT SHOWN ON DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. INDICATED CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR.
- WHERE CONDUIT, PIPES, DUCTS, ETC. ARE INDICATED TO BE INSTALLED IN EXISTING WALLS AND NO FURRING IS SHOWN, THE WALLS SHALL BE NEATLY CHASED, CONDUITS, ETC. INSTALLED, AND WALLS PATCHED TO MATCH EXISTING. IN AREAS OF NEW PARTITIONS WHERE CONDUITS, PIPING, ETC., PASS THROUGH FINISHED SPACES, ROUTE WITHIN PARTITION CONSTRUCTION.
- PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF THE WORK TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- ##### INDICATES REFERENCED SPECIFICATIONS FOR PRODUCTS AND MATERIALS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PROJECT MANUAL.

KEYNOTES

Key Value	Keynote Text
A1	ALUMINUM STOREFRONT SYSTEM AND GLAZING; 064113; RE: G002.
A2	AGGREGATE AND RESINOUS COUNTERTOP; 123600.
A4	EXISTING COLUMN: CLEAN, PATCH AND REPAIR AS REQUIRED.
A6	EXISTING GYP WALL AT THIS LOCATION: PATCH, REPAIR PRIOR TO PAINTING.
A7	MARBLE COUNTERTOP AT THIS LOCATION; 093033.
A8	WALNUT BUTCHER BLOCK COUNTER AT THIS LOCATION; 062023; RE: INTERIOR ELEVATIONS + DETAILS.
A9	MARBLE FLOORING AT THIS LOCATION; 093033.
A10	EXISTING EXTERIOR GLAZING; REMOVE ALL TINTING, ADHESIVE, RESIDUE AND CLEAN AS NECESSARY.
A11	1/2" TEMPERED GLAZING WITH CONCEALED C CHANNEL AND CLEAR SILICONE; 068010.
A12	METAL (VENEER) BANQUETTE AT THIS LOCATION (057000) WITH UPHOLSTERED SEAT CUSHIONS (F-1)(125200).
A13	EXPOSED CONCRETE FLOOR IN CAFE AREA, TO BE SEALED; 033543.
A15	LAMINATE CASEWORK (064116) WITH RESINOUS COUNTERTOP (123600).
A16	DASHED LINE INDICATE PRINTERS AT THIS LOCATION; RE: ELECTRICAL AND COORDINATE WITH OWNER.
A17	DASHED LINE INDICATE UPPER CABINETS (064116); RE: INTERIOR ELEVATIONS.
A18	LAMINATE CASEWORK AT THIS LOCATION; 064116.
A19	PLANK WOOD (WD-P) BANQUETTE AT THIS LOCATION (057000) WITH UPHOLSTERED SEAT CUSHIONS (F-1)(125200).
A20	PLANK WOOD (WD-P) WASTE ENCLOSURE TO MATCH MILLWORK WITH WHITE POWDERCOATED RING TRIM.
A21	WALNUT VENEER CASEWORK AT THIS LOCATION; 062023; RE: DETAILS.

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-9478

EDCHO
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE

D MAGINN

PROJECT TEAM MEMBERS

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR
IMPLEMENTATION.

RELEASE SCHEDULE

NO RELEASE

DATE

ENLARGED FLOOR PLANS

A111

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:22:12 PM



REFLECTED CEILING PLAN SYMBOLS

	GYPSUM BOARD
	ACOUSTICAL CEILING TILE
	DIFFUSER/RETURN GRILL, RE: MECHANICAL
	RECESSED LIGHT FIXTURE, RE: ELECTRICAL
	REFLECTED CEILING PLAN KEYNOTE
ROOM NAME ####	ROOM NAME ROOM NUMBER
TYPE #-#AFF	CEILING MATERIAL AND FINISH TYPE CEILING HEIGHT

LIGHT FIXTURE LEGEND (BASIS OF DESIGN)

L1.1	SELUX M60 LED DIRECT/INDIRECT SUSPENDED FIXTURE; L60; 8'-0" LENGTH
L1.2	SELUX M60 LED DIRECT/INDIRECT SUSPENDED FIXTURE; L60; 6'-0" LENGTH
L1.3	SELUX M60 LED DIRECT/INDIRECT SUSPENDED FIXTURE; L60; 4'-0" LENGTH
L2	SELUX M60 LED RECESSED; 2'-0" LENGTH
L3	ESTILUZ, REVOLTA PENDANT, SINGLE, BLACK
L4	VIBIA, WIREFLY PENDANT, 20, BLACK
L5	PABLO DESIGNS, BOLA DISC PENDANT, 22" DIA., WHITE
L6	ARTEK, A110 HAND GRENADE PENDANT, BLACK
L7	ESTILUZ, VOLTA WALL SCONCE, BLACK

*** LIGHT FIXTURE LEGEND FOR FINISH, LOCATION OF FIXTURES AND GENERAL INFORMATION ONLY, REFER TO MEP DRAWINGS FOR EXACT FIXTURE SPECIFICATION. ***

GENERAL NOTES - REFLECTED CEILING PLAN

- CEILING HEIGHTS INDICATED ARE MEASURED FROM MAIN FLOOR BENCHMARK ELEVATION OF 0'-0"
- WHERE RECESSED LIGHT FIXTURES ARE INDICATED TO BE INSTALLED IN ACOUSTICAL TILE CEILINGS, FIXTURES ARE TO BE INSTALLED AT EDGE OF TILE AND DIRECTLY ABUTTING GRID UNLESS NOTED OTHERWISE
- SPRINKLER HEADS SHALL BE INSTALLED AT CENTER OF ACOUSTICAL TILE WHEN REQUIRED IN AREAS WITH ACOUSTICAL TILE CEILINGS. EXACT LOCATIONS AT ALL OTHER VISUALLY PROMINENT LOCATIONS SHALL BE COORDINATED WITH ARCHITECT. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPES AND SPECIFICATIONS.
- COORDINATE FINAL MOUNTING LOCATION OF EXIT SIGNS, HORN STROBES, AND OTHER CEILING MOUNTED FIRE EXIT DEVICES WITH ARCHITECT PRIOR TO INSTALL.
- REFER TO MECHANICAL DRAWINGS FOR DIFFUSERS, THERMO-STATS, AND OTHER MECHANICAL RELATED EQUIPMENT AND DEVICES.

KEYNOTES

Key Value	Keynote Text
C2	ACOUSTICAL PANEL AT THIS LOCATION: 095446
C3	HATCH DENOTES WALNUT VENEER PANEL AT PERIMETER OF CEILING TILE; 052023
C4	PLYWOOD 'FLOATING' SHELVING; RE: SPECIFICATIONS + DETAILS
C5	UPPER CABINETS AT THIS LOCATION; RE: INTERIOR ELEVATIONS + SPECIFICATIONS.

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP
1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING HEREIN SHALL NOT BE DUPLICATED, REPRODUCED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE
D MAGINN

PROJECT TEAM MEMBERS
S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION.

RELEASE SCHEDULE

NO RELEASE DATE

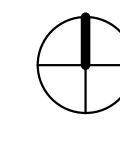
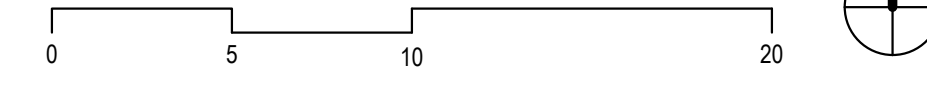
REFLECTED CEILING PLAN

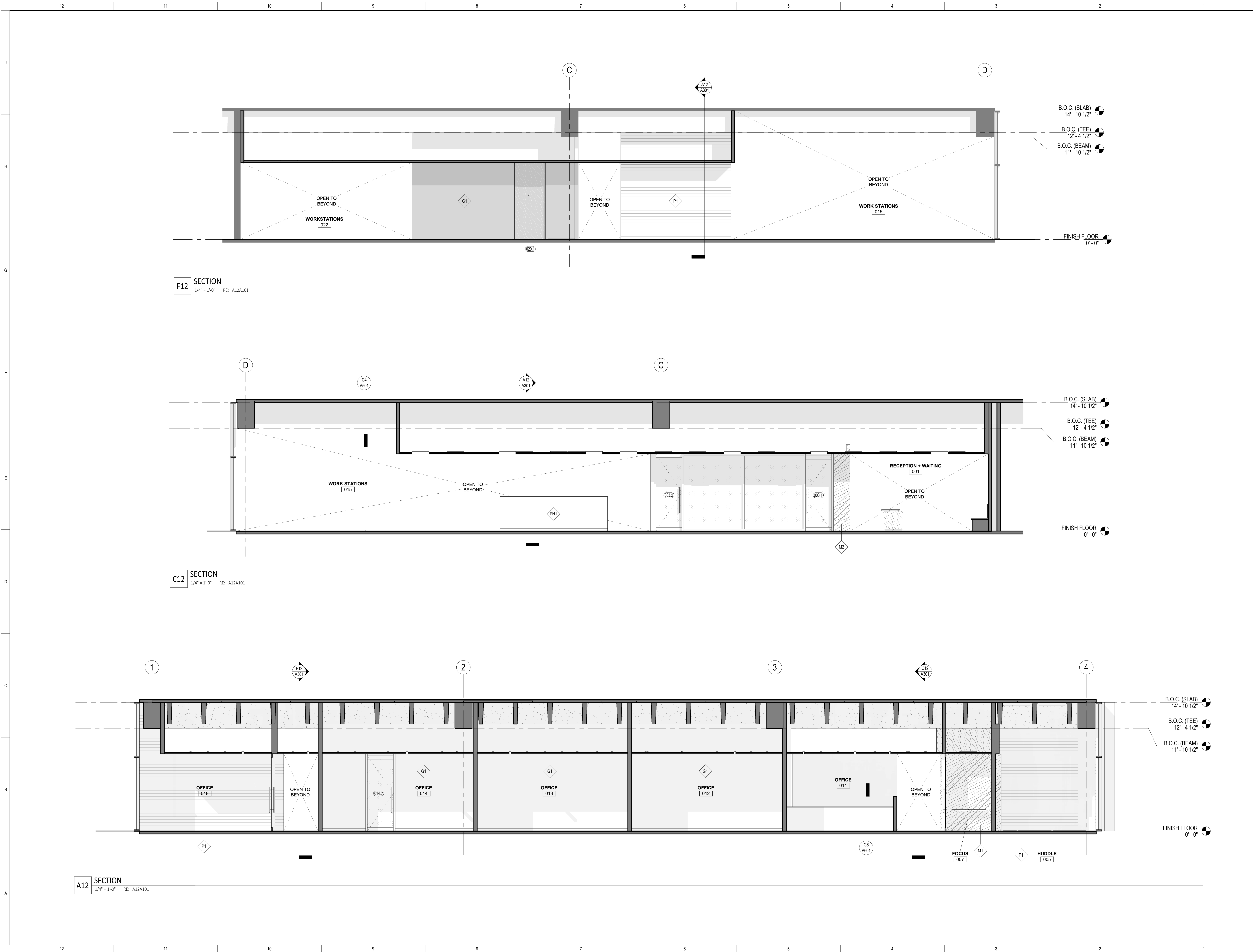
A151

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:22:34 PM

A12 REFLECTED CEILING PLAN
3/16" = 1'-0" RE: A12A301





OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-9478

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE

D MAGINN

PROJECT TEAM MEMBERS

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR
IMPLEMENTATION.

RELEASE SCHEDULE

NO.

RELEASE

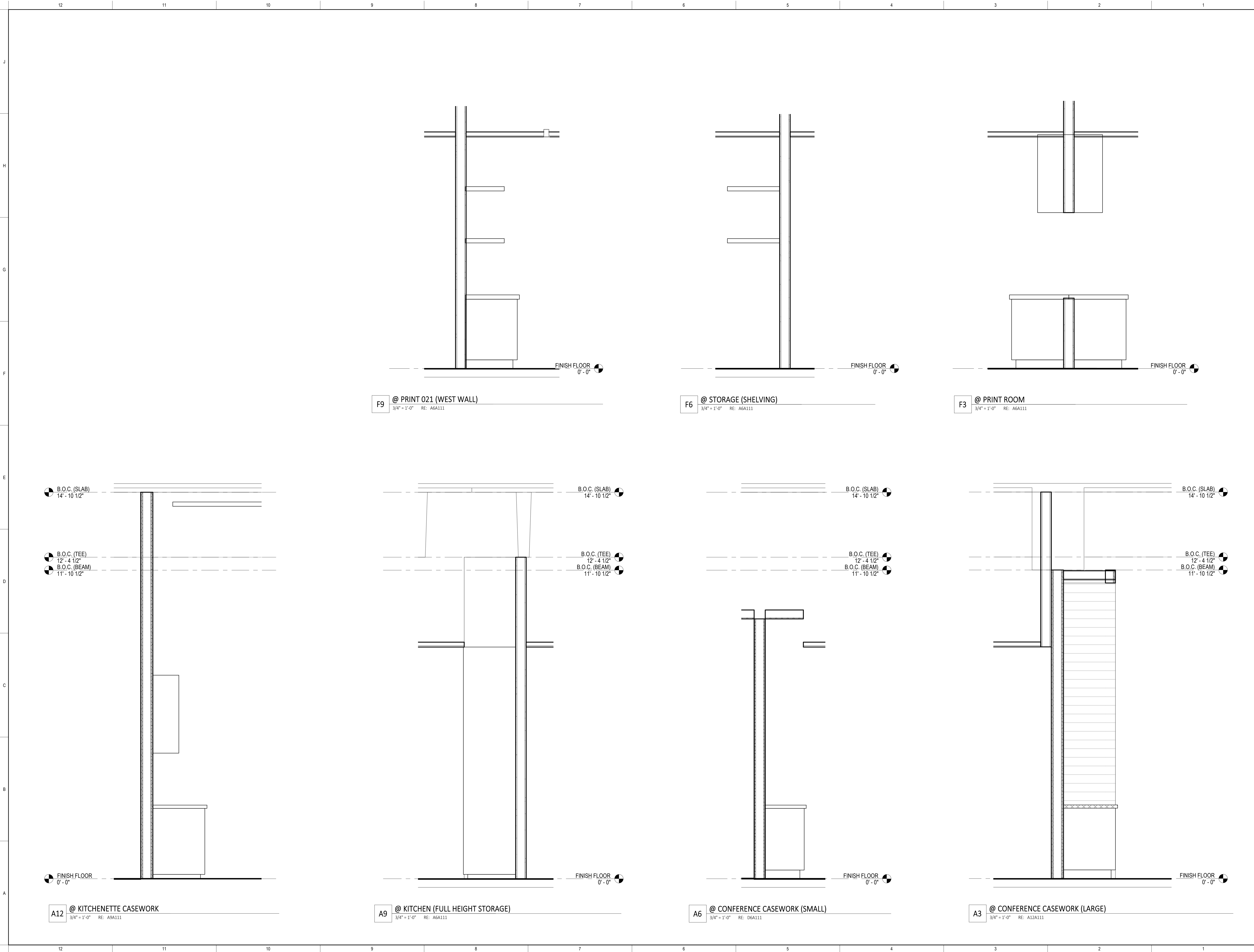
DATE

SECTIONS

A301

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:22:44 PM



OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP
1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 36" x 48" SHEET

PROPOSAL IN CHARGE
D MAGINN

PROJECT TEAM MEMBERS
S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR
IMPLEMENTATION.

RELEASE SCHEDULE

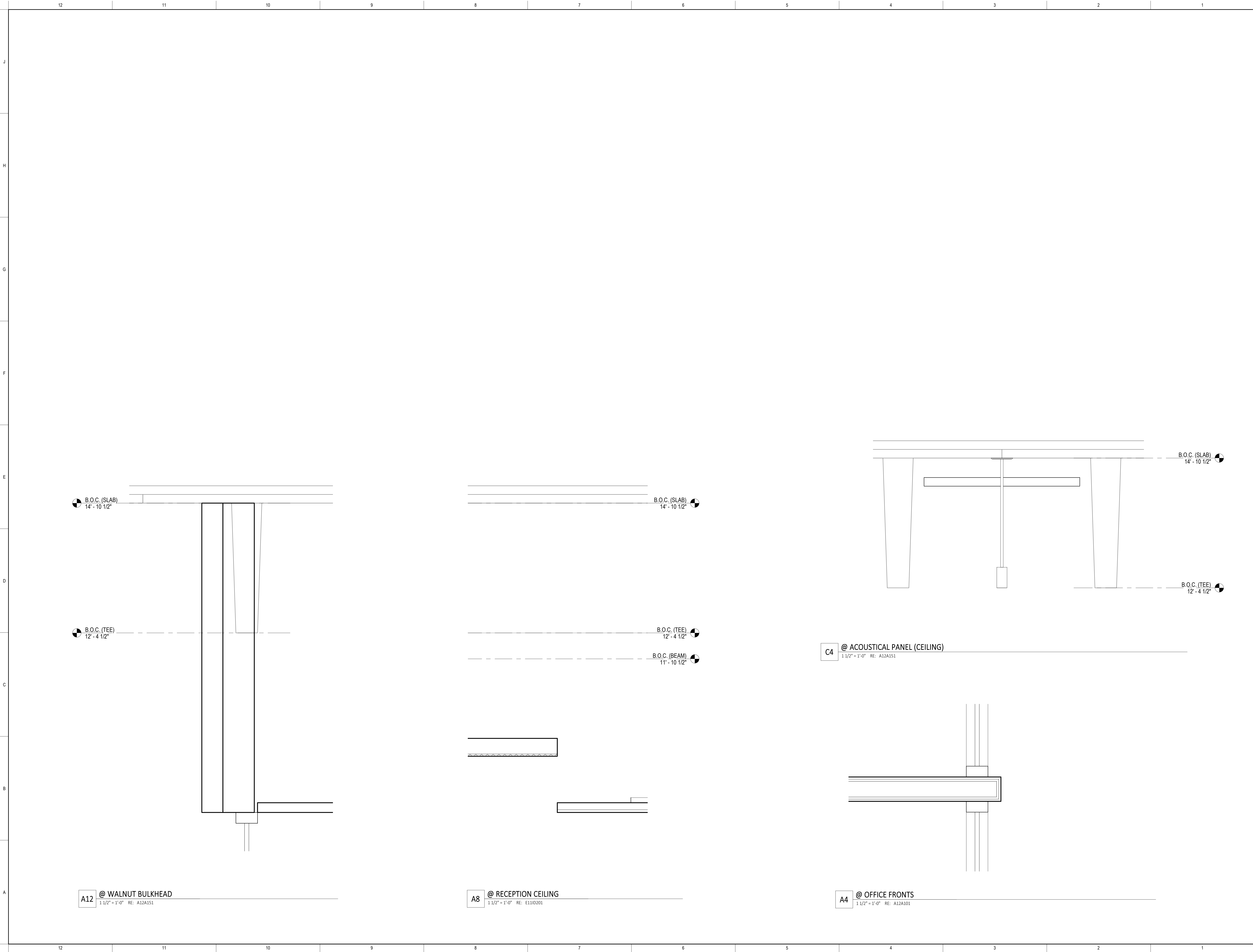
NO RELEASE DATE

WALL SECTIONS

A401

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:22:40 PM



OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP
1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE
D MAGINN
PROJECT TEAM MEMBERS
S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR
IMPLEMENTATION.

RELEASE SCHEDULE

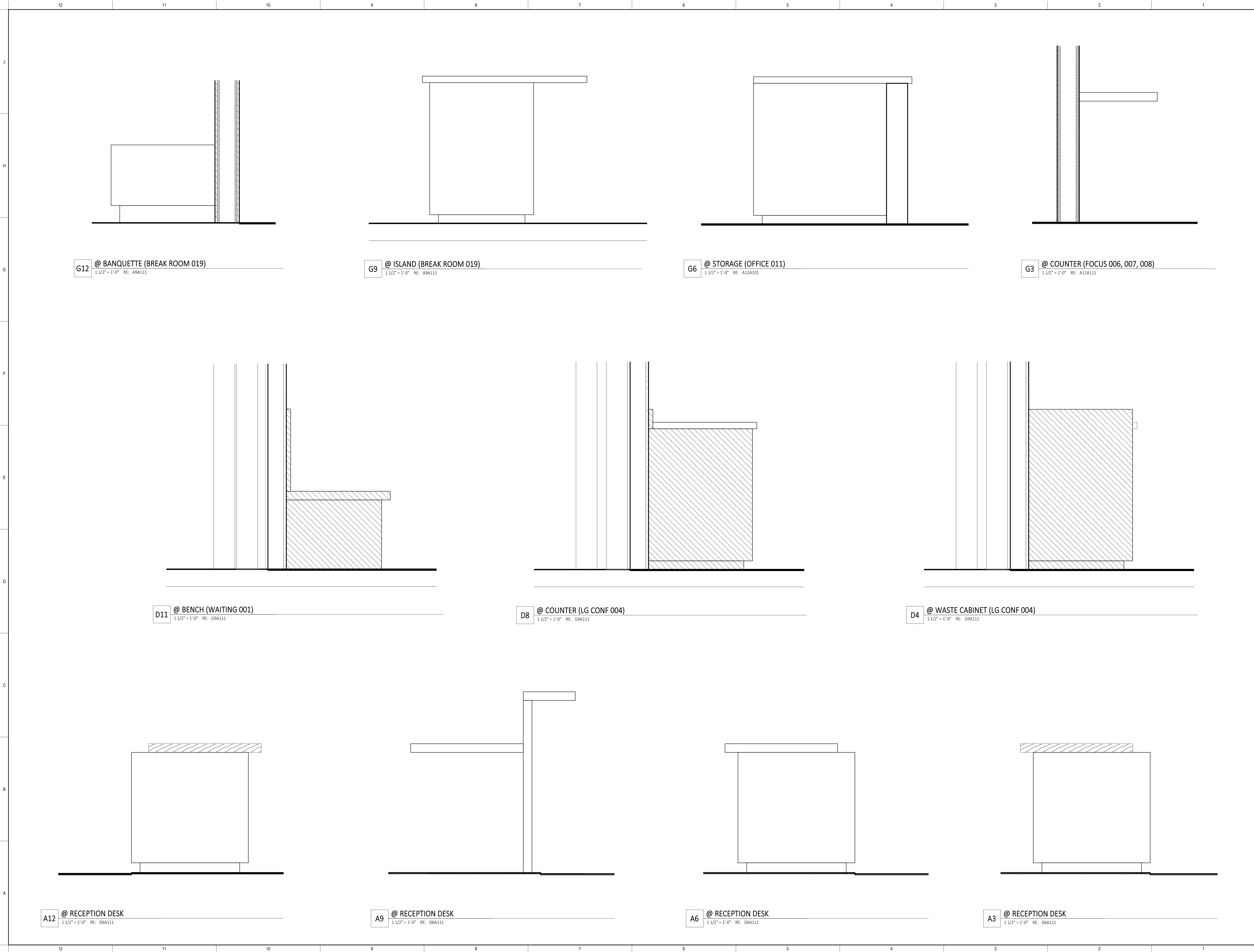
NO.	RELEASE	DATE

DETAILS

A501

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:25:51 PM



OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP
1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROFESIONAL IN CHARGE
D MAGINN
PROJECT TEAM MEMBERS
S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR
IMPLEMENTATION.

RELEASE SCHEDULE

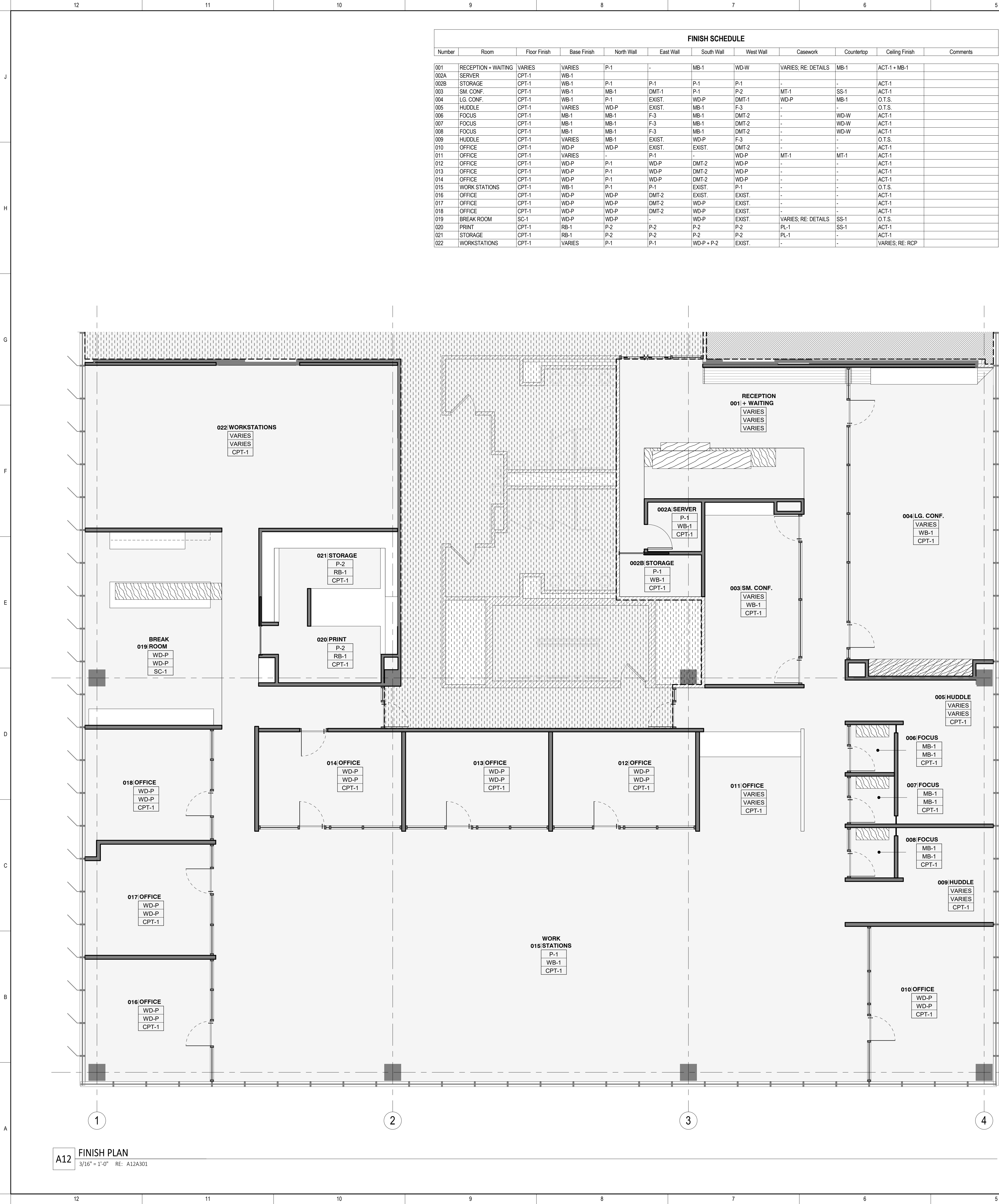
NO.	RELEASE	DATE

CASEWORK DETAILS

A601

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:26:01 PM



FINISH SCHEDULE										
Number	Room	Floor Finish	Base Finish	North Wall	East Wall	South Wall	West Wall	Casework	Countertop	Ceiling Finish
001	RECEPTION + WAITING	VARIES	VARIES	P-1	-	MB-1	WD-W	VARIES, RE: DETAILS	MB-1	ACT-1 + MB-1
002A	SERVER	CPT-1	WB-1	P-1	P-1	P-1	-	-	-	ACT-1
002B	STORAGE	CPT-1	WB-1	P-1	P-1	P-1	-	-	-	ACT-1
003	SM. CONF.	CPT-1	WB-1	MB-1	DMT-1	P-1	P-2	MT-1	SS-1	ACT-1
004	LG. CONF.	CPT-1	WB-1	P-1	EXIST.	WD-P	DMT-1	WD-P	MB-1	O.T.S.
005	HUDDLE	CPT-1	VARIES	WD-P	EXIST.	MB-1	F-3	-	-	O.T.S.
006	FOCUS	CPT-1	MB-1	MB-1	F-3	MB-1	DMT-2	-	WD-W	ACT-1
007	FOCUS	CPT-1	MB-1	MB-1	F-3	MB-1	DMT-2	-	WD-W	ACT-1
008	FOCUS	CPT-1	MB-1	MB-1	F-3	MB-1	DMT-2	-	WD-W	ACT-1
009	HUDDLE	CPT-1	VARIES	MB-1	EXIST.	WD-P	F-3	-	-	O.T.S.
010	OFFICE	CPT-1	WD-P	WD-P	EXIST.	EXIST.	DMT-2	-	-	ACT-1
011	OFFICE	CPT-1	VARIES	-	P-1	WD-P	DMT-2	WD-P	MT-1	ACT-1
012	OFFICE	CPT-1	WD-P	P-1	WD-P	DMT-2	WD-P	-	-	ACT-1
013	OFFICE	CPT-1	WD-P	P-1	WD-P	DMT-2	WD-P	-	-	ACT-1
014	OFFICE	CPT-1	WD-P	P-1	WD-P	DMT-2	WD-P	-	-	ACT-1
015	WORK STATIONS	CPT-1	WB-1	P-1	P-1	EXIST.	P-1	-	-	O.T.S.
016	OFFICE	CPT-1	WD-P	WD-P	DMT-2	EXIST.	EXIST.	-	-	ACT-1
017	OFFICE	CPT-1	WD-P	WD-P	DMT-2	EXIST.	EXIST.	-	-	ACT-1
018	OFFICE	CPT-1	WD-P	WD-P	DMT-2	WD-P	EXIST.	-	-	ACT-1
019	BREAK ROOM	SC-1	WD-P	WD-P	-	WD-P	EXIST.	VARIES, RE: DETAILS	SS-1	O.T.S.
020	PRINT	CPT-1	RB-1	P-2	P-2	P-2	P-2	PL-1	SS-1	ACT-1
021	STORAGE	CPT-1	RB-1	P-2	P-2	P-2	P-2	PL-1	-	ACT-1
022	WORKSTATIONS	CPT-1	VARIES	P-1	P-1	WD-P + P-2	EXIST.	-	-	VARIES, RE: RCP

GENERAL NOTES - FINISH PLAN

- GENERAL CONTRACTOR TO ENSURE ALL FLOORS AND WALLS ARE PROPERLY PREPARED FOR SPECIFIED FINISH.
- ALL FLOOR FINISH CHANGES ARE TO PROVIDE PROPER TRANSITION STRIPS, AND FLOOR LEVELING AS REQUIRED.
- CHANGES IN FLOOR FINISHES SHALL OCCUR AT THE CENTER OF THE DOOR IN THE CLOSED POSITION. AT OPENINGS WHERE NO DOOR IS INDICATED, THE CHANGE IN FLOOR FINISH WILL ALIGN WITH THE OUTSIDE EDGE OF THE OPENING UNLESS OTHERWISE NOTED.
- ALL CARPET SEAMS ARE TO BE PROPERLY BLENDED, USING MANUFACTURER'S RECOMMENDATIONS. RE: SPECIFICATIONS.
- UNLESS OTHERWISE NOTED: PAINT ALL HOLLOW METAL DOORS AND FRAMES TO MATCH ADJACENT WALL. ANY PAINT TRANSITION ON A DOOR FRAME OR DOOR SHALL OCCUR ON THE INSIDE CORNER OF THE CLOSED DOOR.
- UNLESS OTHERWISE NOTED: ALL PAINT SHALL BE COMPLIANT WITH LEED V3 CREDIT 4: LOW EMITTING MATERIALS.
- UNLESS OTHERWISE NOTED: ALL ADHESIVES AND SEALANTS SHALL BE COMPLIANT WITH LEED V3 CREDIT 4: LOW EMITTING MATERIALS.
- REFER TO INTERIOR ELEVATION DRAWINGS FOR WALLS WITH MULTIPLE FINISHES. ALL EXPOSED CONCRETE TO BE CLEANED OF ALL ADHESIVES, ABANDONED ATTACHMENTS, PAINT, ETC. PATCH, REPAIR, FILL AS NEEDED.

KEYNOTES

Key Value Keynote Text

ROOM FINISH TAG KEY

ROOM NUMBER | ROOM NAME

WALL
BASE
FLOOR

ROOM FINISH AND MATERIALS LEGEND		
ACT-1	ACOUSTICAL CEILING TYPE - 1	095123
	ARMSTRONG DC FLEXZONE "SUPRAFINE" 9/16" EXPOSED TEE WITH ULTIMA CEILING PANELS; 2 FT X 2 FT; WHITE	
CPT-1	TILE CARPETING TYPE - 1	096813
	BENTLEY; COHORT 80HTS; NICKEL + DIME 400359; 18 X 36 CARPET TILE WITH NEXSTEP CUSHION TILE	
F-1	FABRIC TYPE - 1	120500
	ARCHITEX; LAKOTA; BEAU/ (PAUX LEATHER AT BANQUETTE SEAT CUSHION)	
F-2	FABRIC TYPE - 2	120500
	DESIGNTEX; WANNABE; 6646-802; PAYNE'S GREY (ACOUSTIC WALL PANEL - LIGHT GRAY)	
F-3	FABRIC TYPE - 3	120500
	DESIGNTEX; WANNABE; 6646-803; SLATE (ACOUSTIC WALL PANEL - DARK GRAY)	
F-4	FABRIC TYPE - 4	120500
	MAHARAM; STAR BY KVADRAT; 465966; 547 (CURTAINS - COLOR RED, TYPE A)	
F-5	FABRIC TYPE - 5	120500
	MAHARAM; STAR BY KVADRAT; 465966; 667 (CURTAINS - COLOR RED, TYPE B)	
F-6	FABRIC TYPE - 6	120500
	MAHARAM; STAR BY KVADRAT; 465966; 687 (CURTAINS - COLOR RED, TYPE C)	
F-7	FABRIC TYPE - 7	120500
	MAHARAM; STAR BY KVADRAT; 465966; 357 (CURTAINS - COLOR RED, TYPE D)	
F-8	FABRIC TYPE - 8	120500
	MAHARAM; STAR BY KVADRAT; 465966; 222 (CURTAINS - COLOR OFF-WHITE, TYPE A)	
MB-1	MARBLE TYPE - 1	093033
	"THIN SLAB" MARBLE; PHENIX MARBLE; NAPOLEON (VEIN CUT)	
MT-1	METAL TYPE - 1	057000
	COLD ROLLED BLACKENED METAL VENEER WITH PROTECTIVE TOP COAT	
P-1	PAINT COLOR TYPE - 1	099113 & 099123
	SHERWIN WILLIAMS; SW 7006; EXTRA WHITE	
P-2	PAINT COLOR TYPE - 2	099113 & 099123
	SHERWIN WILLIAMS; SW 7674; PEPPERCORN	
P-3	PAINT COLOR TYPE - 3	099113 & 099123
	NOT USED	
PL-1	PLASTIC LAMINATE TYPE 1	064116 & 123623
	FORMICA; 912C-58; STORM; MATTE FINISH	
QZ-1	QUARTZ TYPE - 1	123661
	CAESARSTONE; 3100; JET BLACK; 3CM THICKNESS	
RB-1	RESILIENT BASE TYPE - 1	096513
	ROPPE; JOHNSONITE OR EQUAL	
SC-1	SEALED CONCRETE TYPE - 1	033300
	T.B.D.	
SS-1	SOLID-SURFACE MATERIAL TYPE - 1	123661
	RECYCLED SURFACES; G103	
T-1	TILE TYPE - 1	093000
	PORCELANOSA; AURA GOLD POLISHED; 47" X 98"	
WB-1	WOOD BASE TRIM TYPE - 1	064600
	PAINT GRADE POPLAR OR EQUAL	
WD-P	WOOD TYPE - 1	064113 & 064216
	WHITE OAK; ASH, MAPLE OR EQUAL; 1 x 6; S4S; SELECT GRADE WITH 3 PART GEL POLY PROTECTIVE TOP COAT	
WD-W	WOOD TYPE - 1	064113 & 064216
	BLACK WALNUT; AA GRADE; 1/16" THICKNESS; ON PLYWOOD SUBSTRATE; FINISHED WITH 3 PART PROTECTIVE TOPCOAT	

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHO
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECTS.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE

D MAGINN

PROJECT TEAM MEMBERS

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR
IMPLEMENTATION.

RELEASE SCHEDULE

NO

RELEASE

DATE

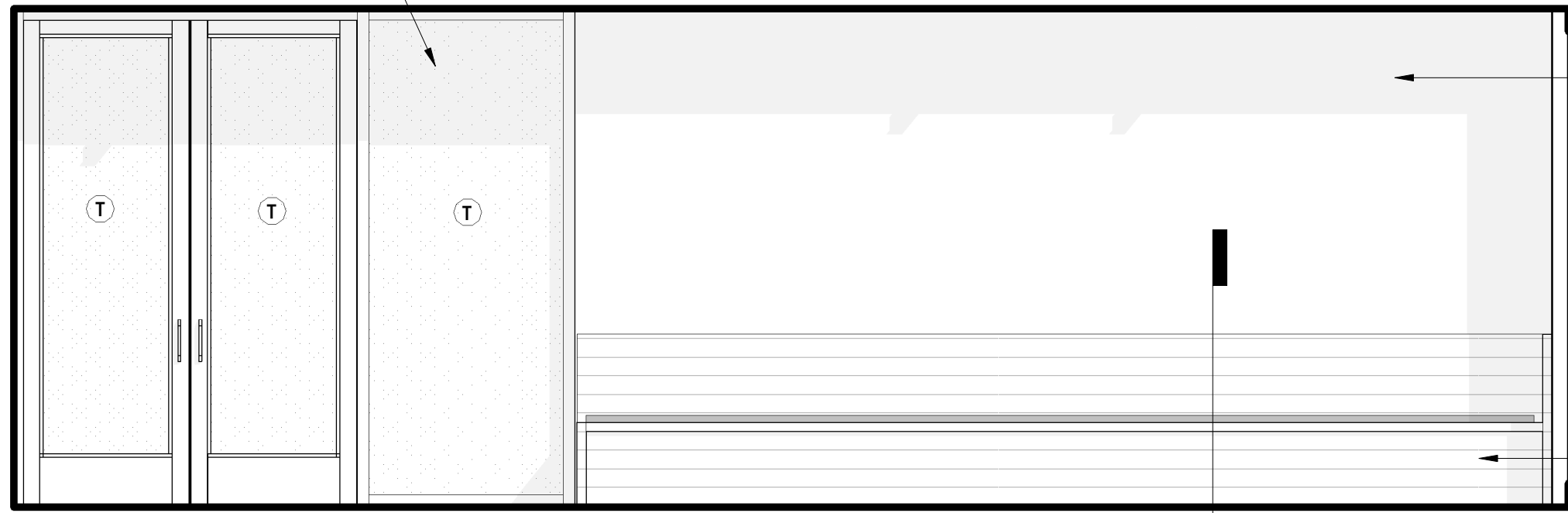
FINISH PLAN + LEGEND

ID101

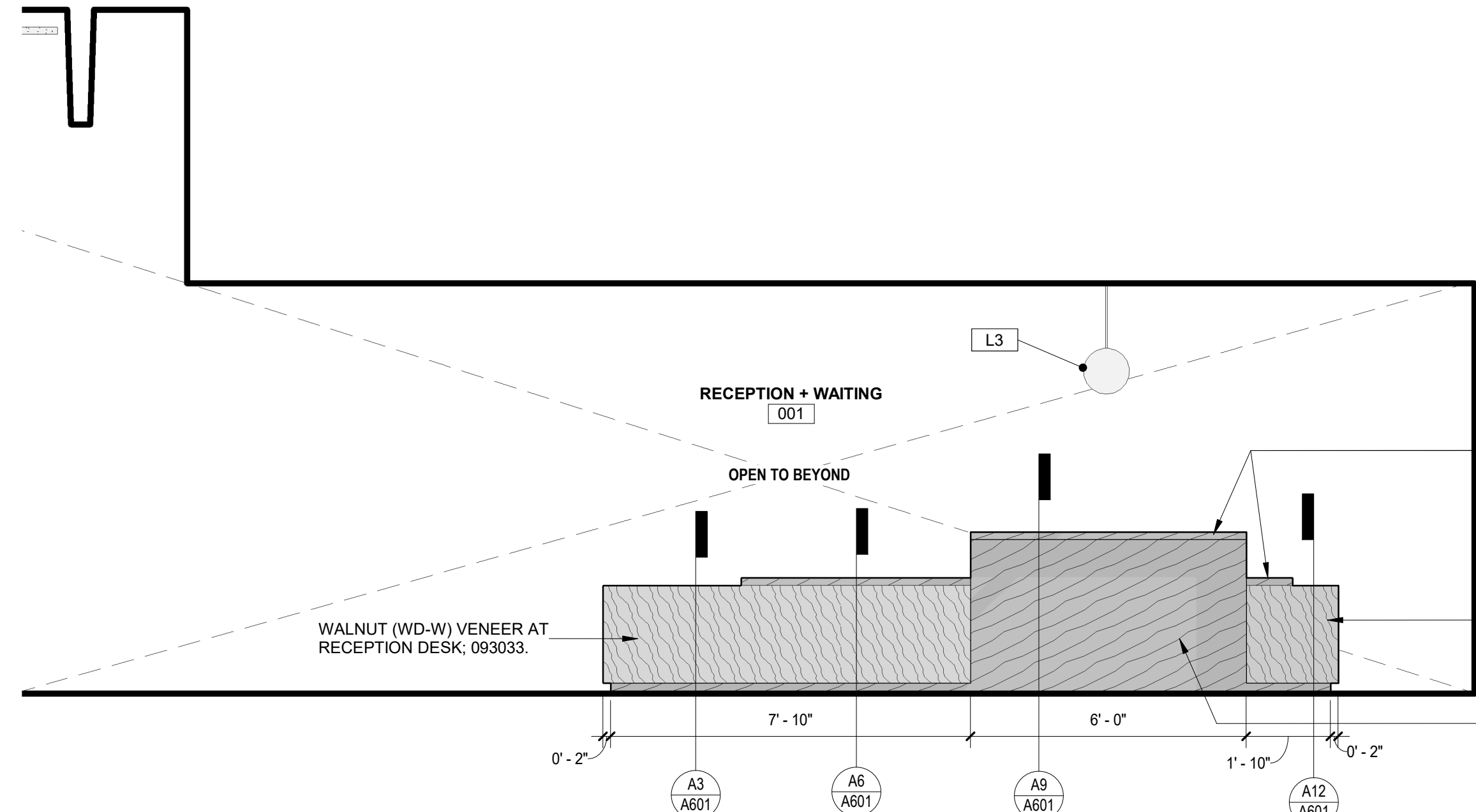
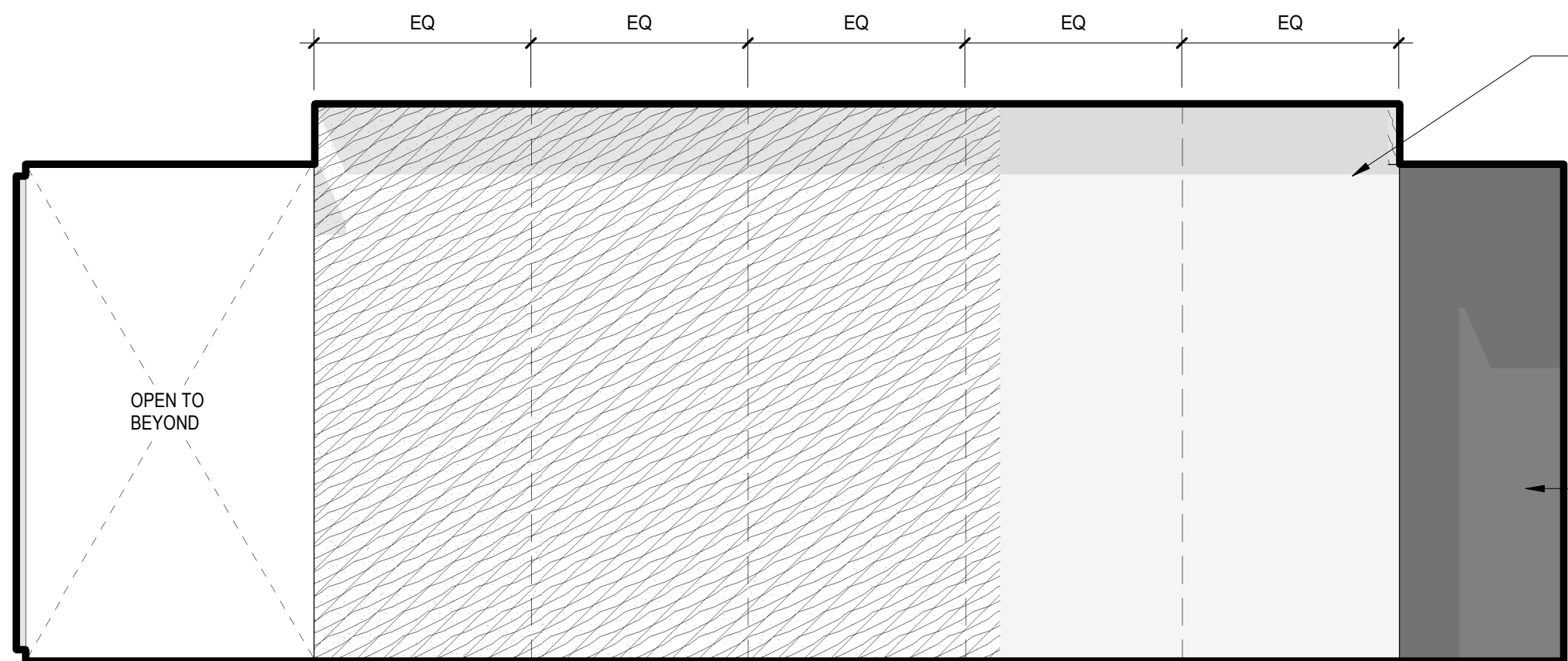
NOT FOR CONSTRUCTION

Printed 11/19/2018 2:27:18 PM

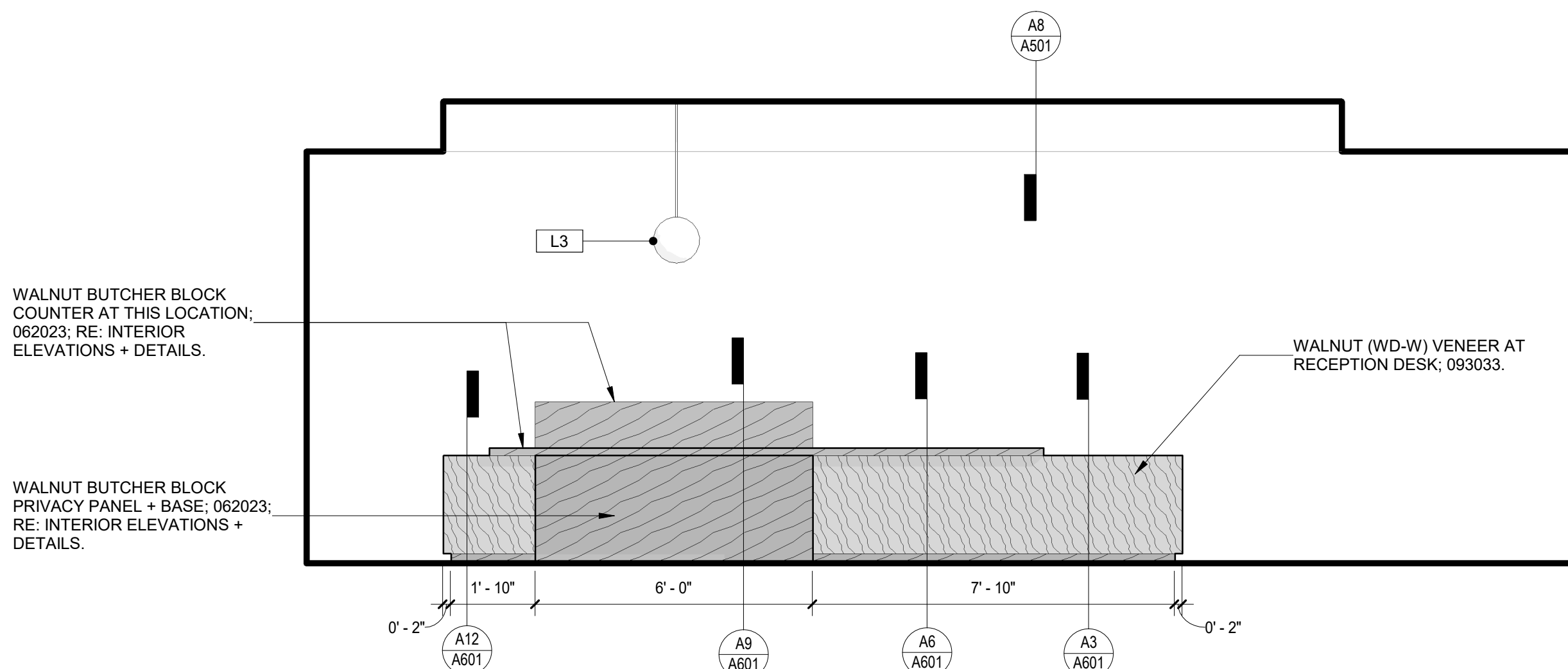
ALUMINUM STOREFRONT
SYSTEM AND GLAZING; 084113.



G6 @ ENTRY + WAITING
3/8" = 1'-0" RE: G9A111

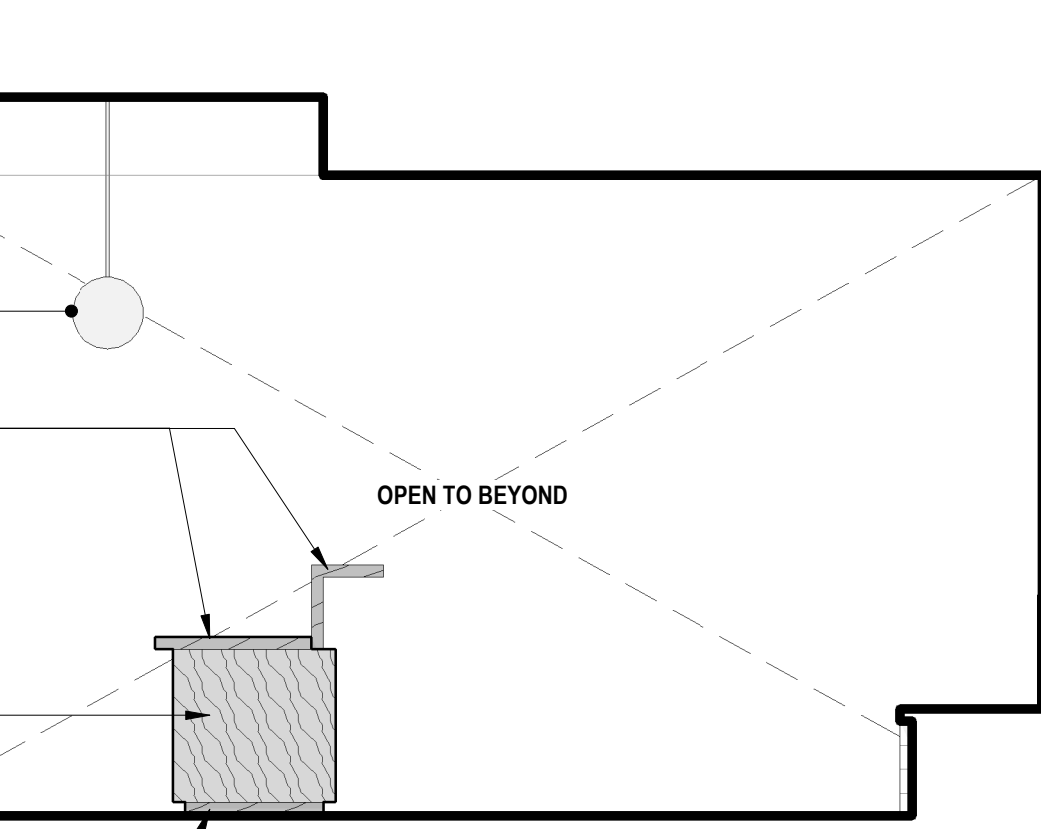


G11 @ RECEPTION DESK (FRONT)
3/8" = 1'-0" RE: G9A111



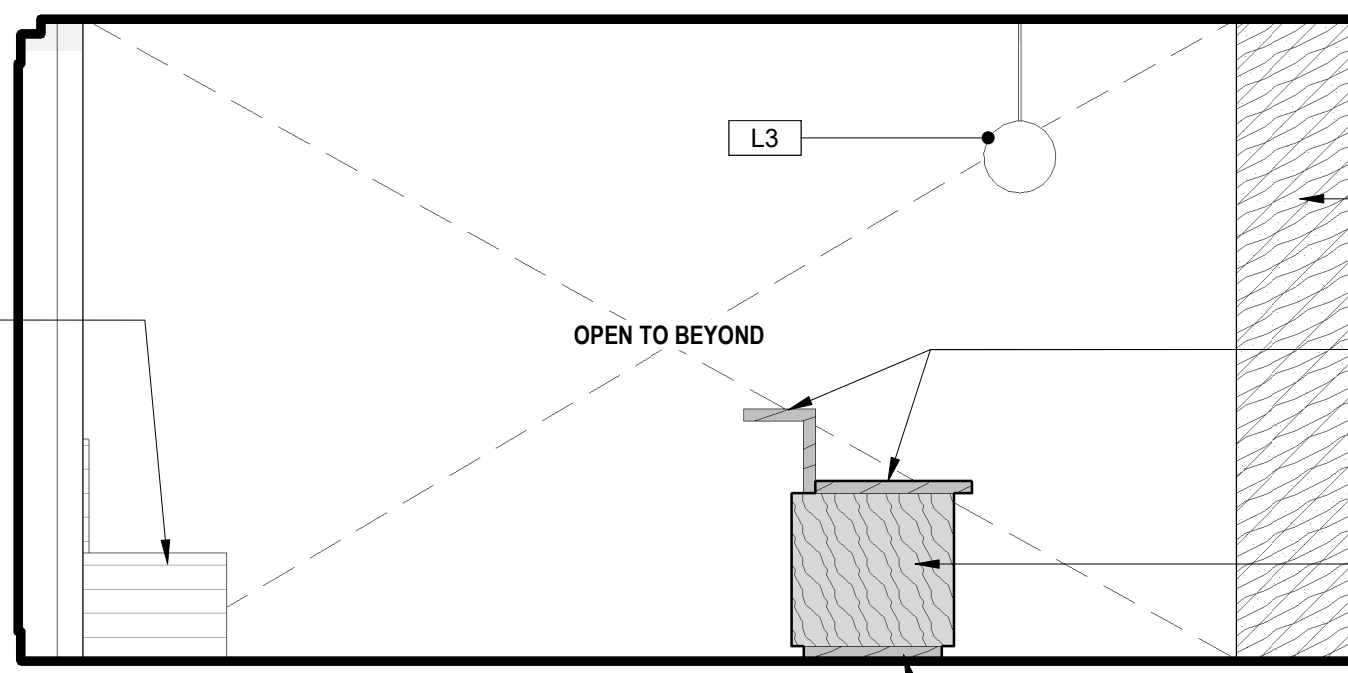
E11 @ RECEPTION DESK (BACK)
3/8" = 1'-0" RE: D6A111

E6 @ FEATURE WALL (BEHIND RECEPTION)
3/8" = 1'-0" RE: D6A111



C11 @ RECEPTION DESK (SIDE)
3/8" = 1'-0" RE: D6A111

PLANK WOOD (WD-P)
BANQUETTE AT THIS LOCATION;
093033, WITH FABRIC (F-1)
CUSHION; 120500.



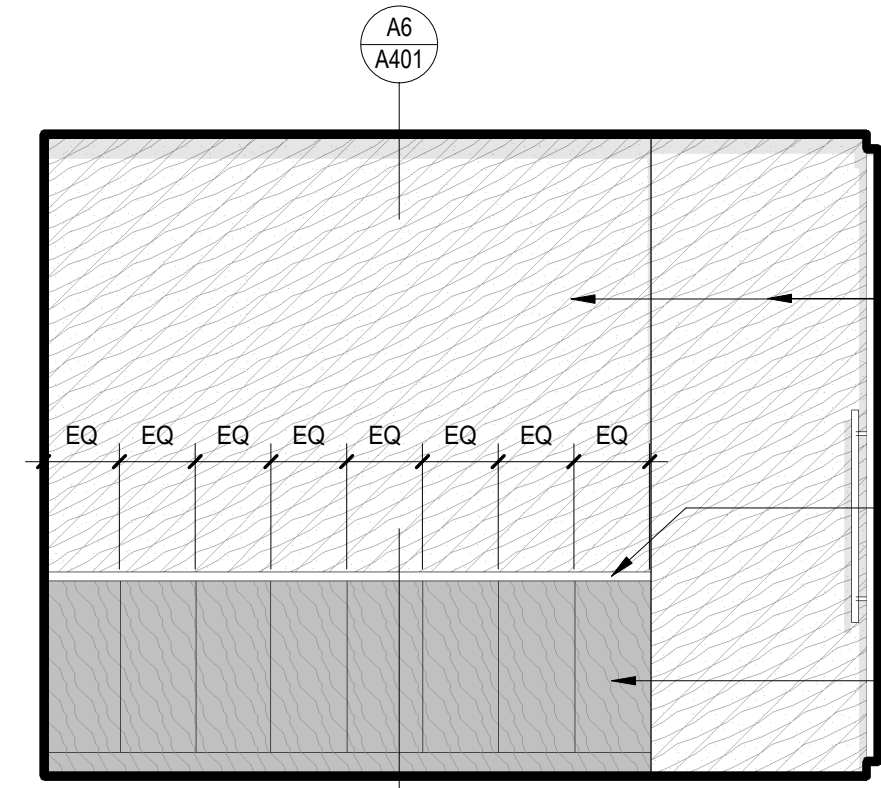
C8 @ RECEPTION DESK (SIDE)
3/8" = 1'-0" RE: D6A111

MARBLE (MB-1) FEATURE WALL;
WRAP AT SIDES; 093033.

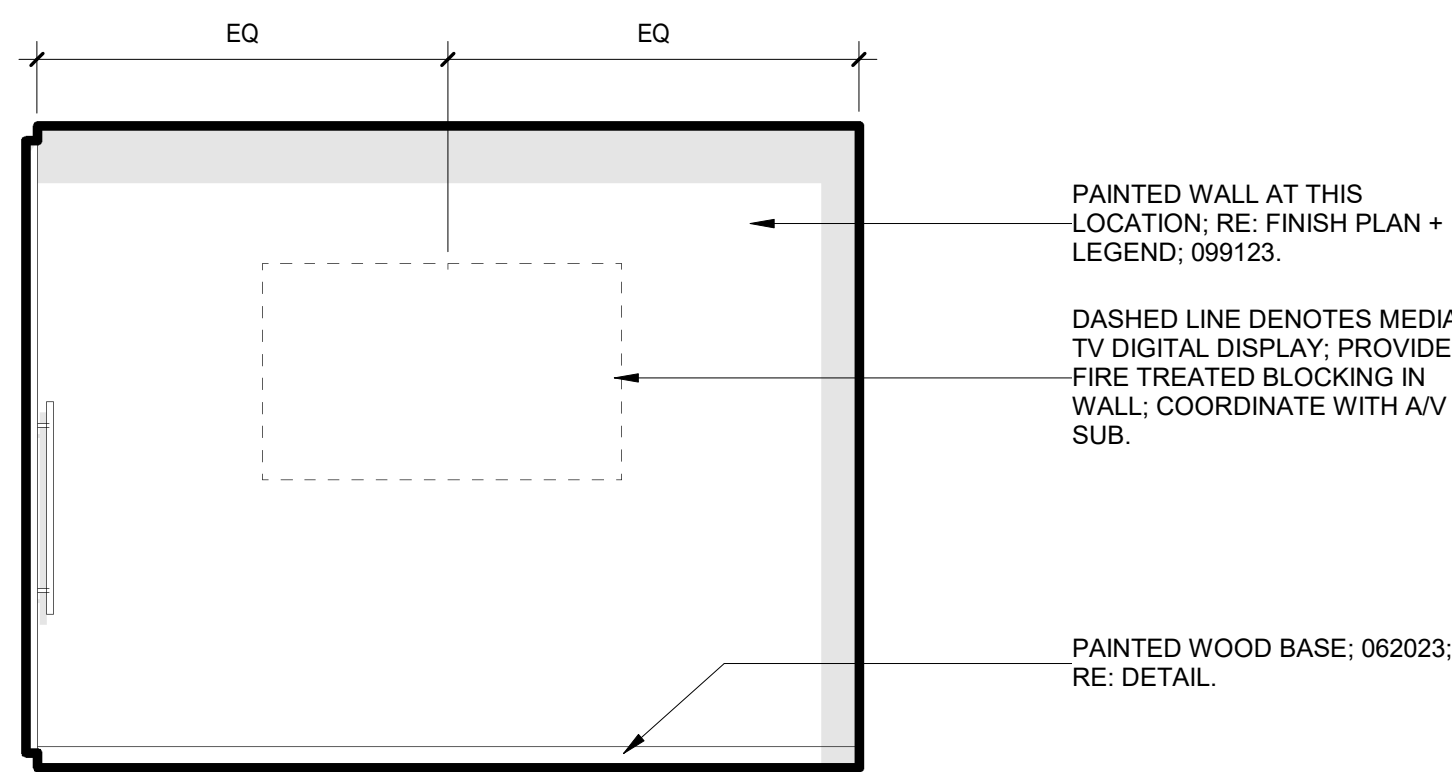
WALNUT BUTCHER BLOCK
COUNTER AT THIS LOCATION;
062023, RE: INTERIOR
ELEVATIONS + DETAILS.

WALNUT VENEER MILLWORK AT
THIS LOCATION; 093033.

WALNUT BUTCHER BLOCK
PRIVACY PANEL + BASE; 062023;
RE: INTERIOR ELEVATIONS +
DETAILS.



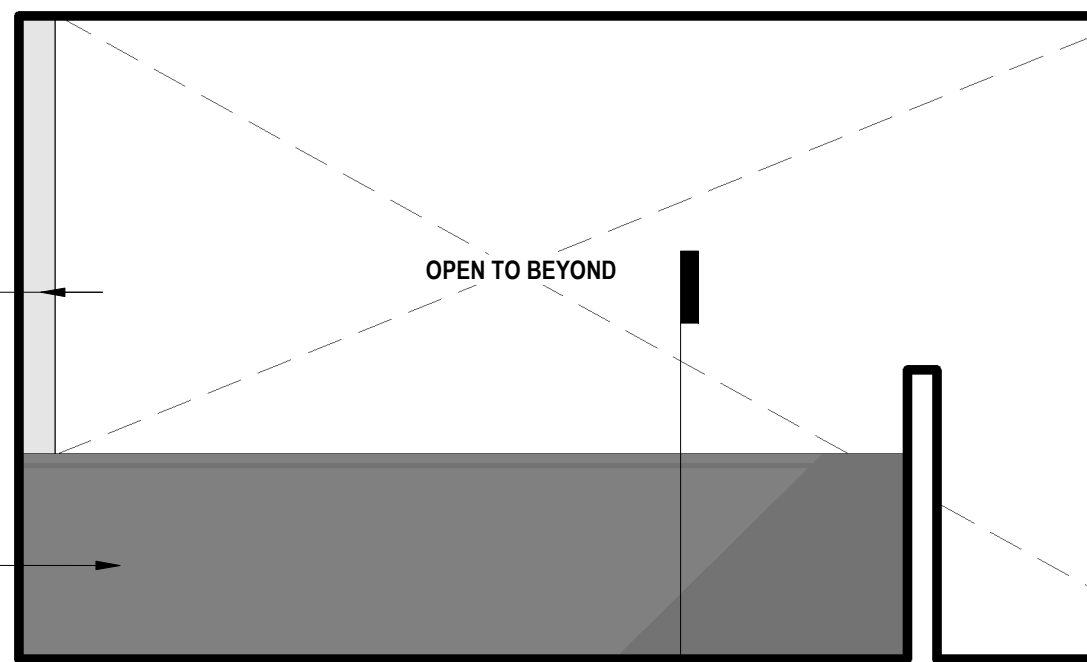
C4 @ SM CONF (NORTH)
3/8" = 1'-0" RE: A12A101



A12 @ SM CONF (SOUTH)
3/8" = 1'-0" RE: A12A101

GYP WALL TO BE PAINTED (P-1);
092900.

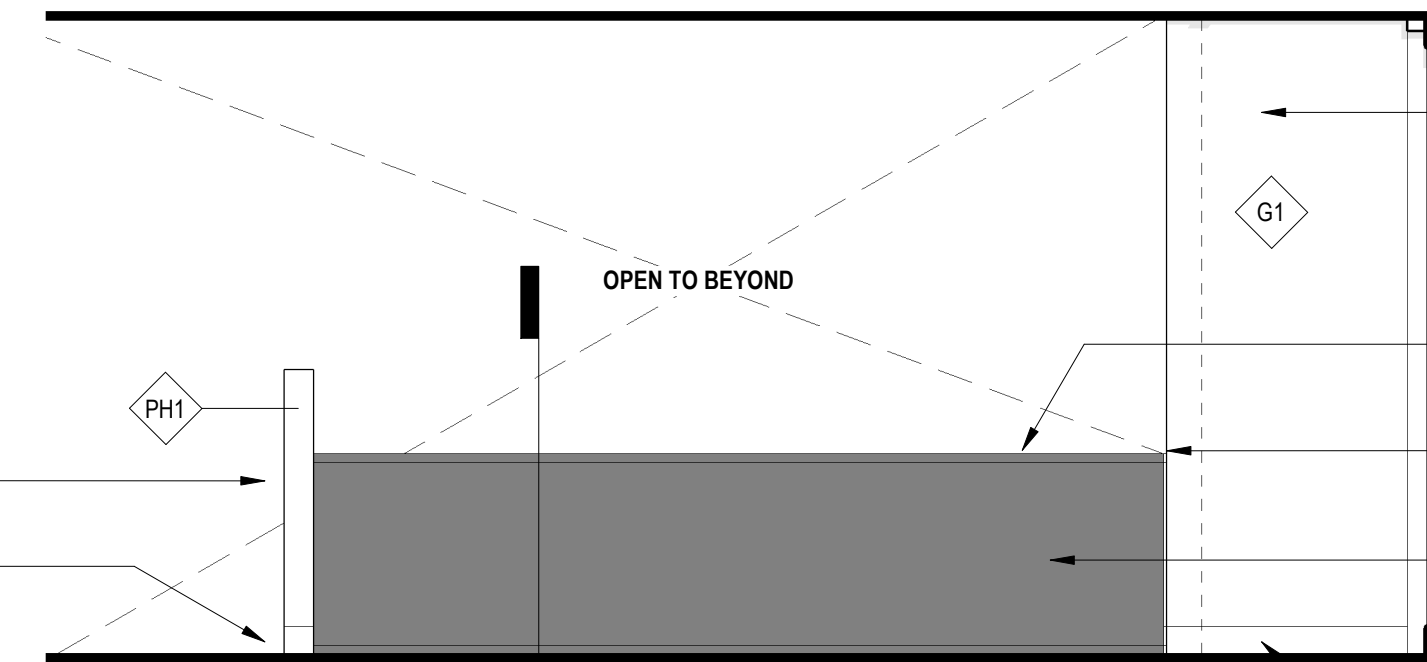
METAL VENEER CABINET
FRONTS, SIDES AND BASE;
057000.



A7 @ LOW STORAGE (OFFICE)
3/8" = 1'-0" RE: A12A101

GYP WALL TO BE PAINTED (P-1);
092900.

PAINTED WOOD BASE; 062023;
RE: DETAIL.



A4 @ LOW STORAGE (CORRIDOR)
3/8" = 1'-0" RE: A12A101

GYP WALL TO BE PAINTED (P-1);
092900.

METAL COUNTERTOP AT THIS
LOCATION; 057000.

DASHED LINE INDICATES WALL
BEHIND.

METAL VENEER CABINET
FRONTS, SIDES AND BASE;
057000.

PAINTED WOOD BASE; 062023;
RE: DETAIL.

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHO
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, REPRODUCED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.
ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE

D MAGINN

PROJECT TEAM MEMBERS

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION RECORDING PURPOSES OR
IMPLEMENTATION.

RELEASE SCHEDULE

NO RELEASE

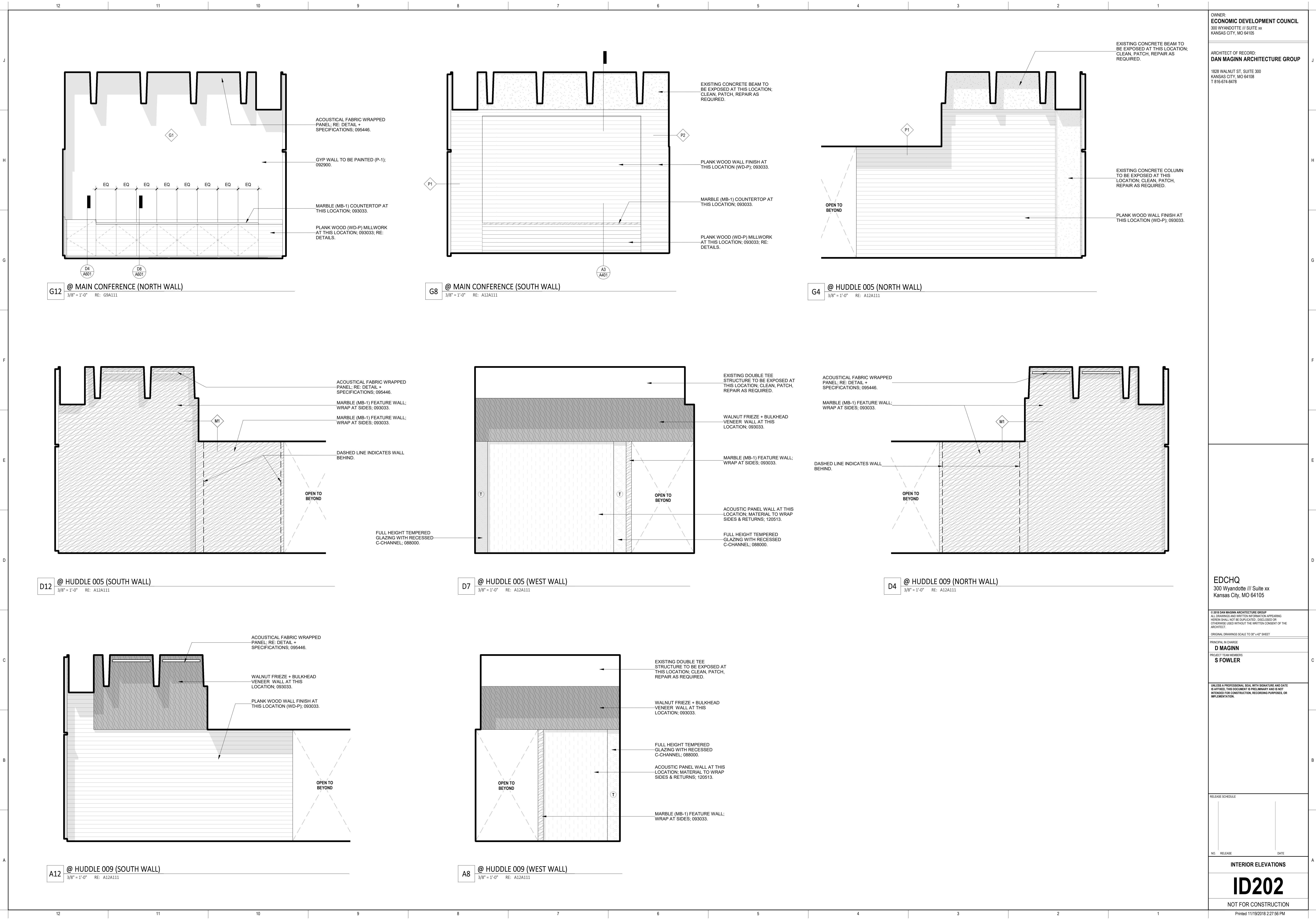
DATE

INTERIOR ELEVATIONS

ID201

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:27:39 PM



OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHO
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, REPRODUCED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.
ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE:
D MAGINN
PROJECT TEAM MEMBERS
S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR
IMPLEMENTATION.

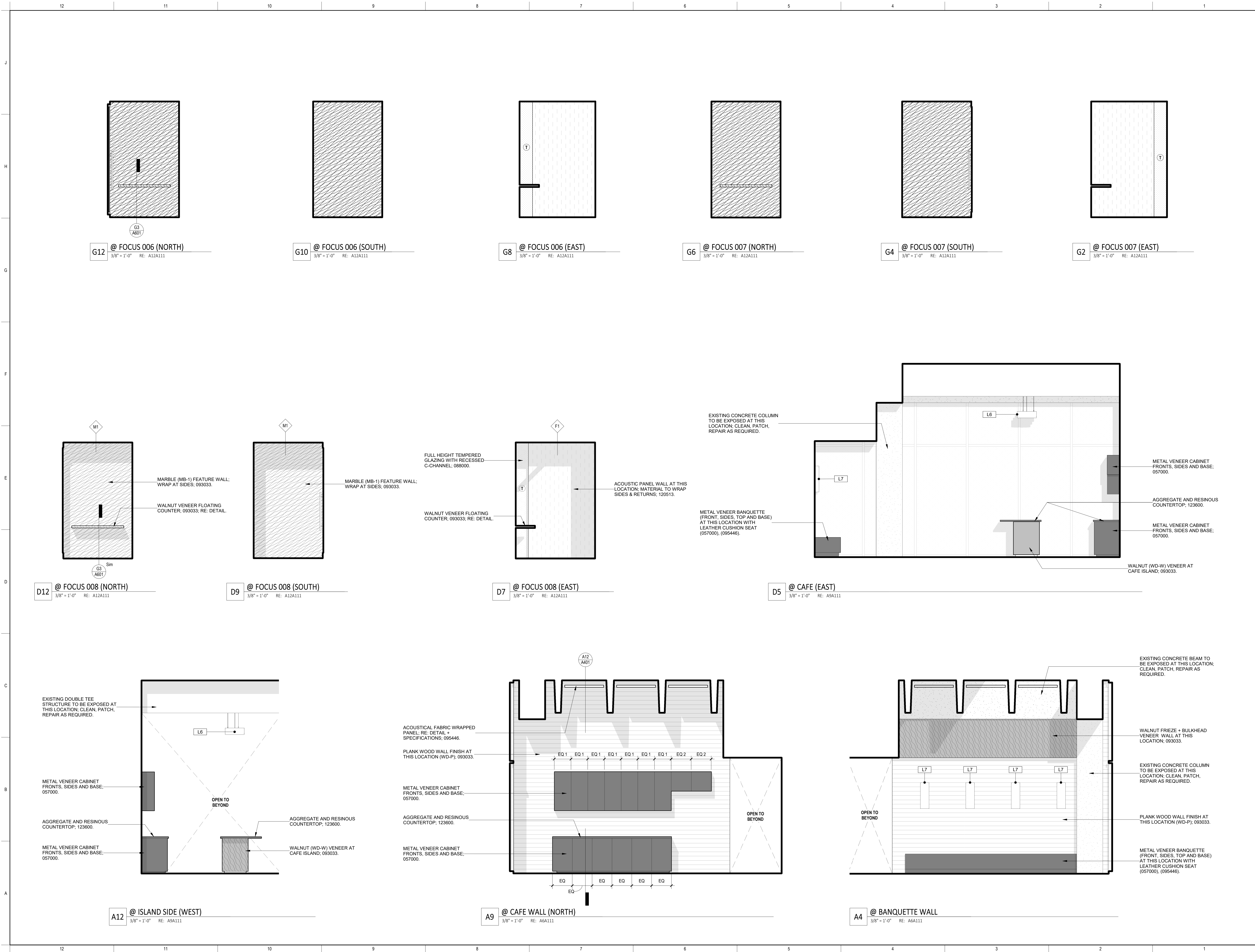
RELEASE SCHEDULE	
NO.	RELEASE
DATE	

INTERIOR ELEVATIONS

ID202

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:27:56 PM



OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE

D MAGINN

PROJECT TEAM MEMBERS

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR
IMPLEMENTATION.

RELEASE SCHEDULE

NO RELEASE

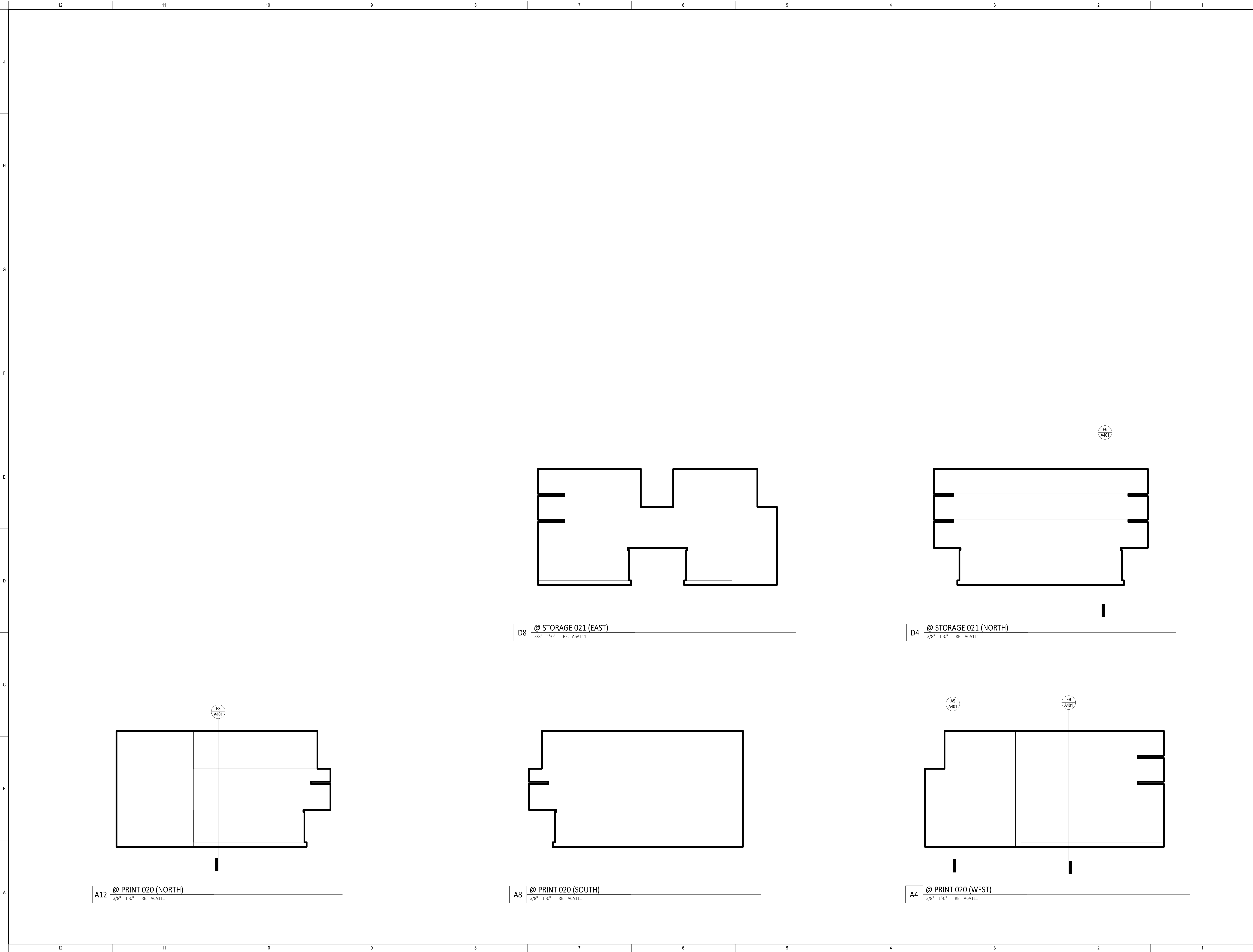
DATE

INTERIOR ELEVATIONS

ID203

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:28:12 PM



OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP
1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

PROFESSIONAL IN CHARGE
D MAGINN

PROJECT TEAM MEMBERS
S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR
IMPLEMENTATION.

RELEASE SCHEDULE

NO RELEASE

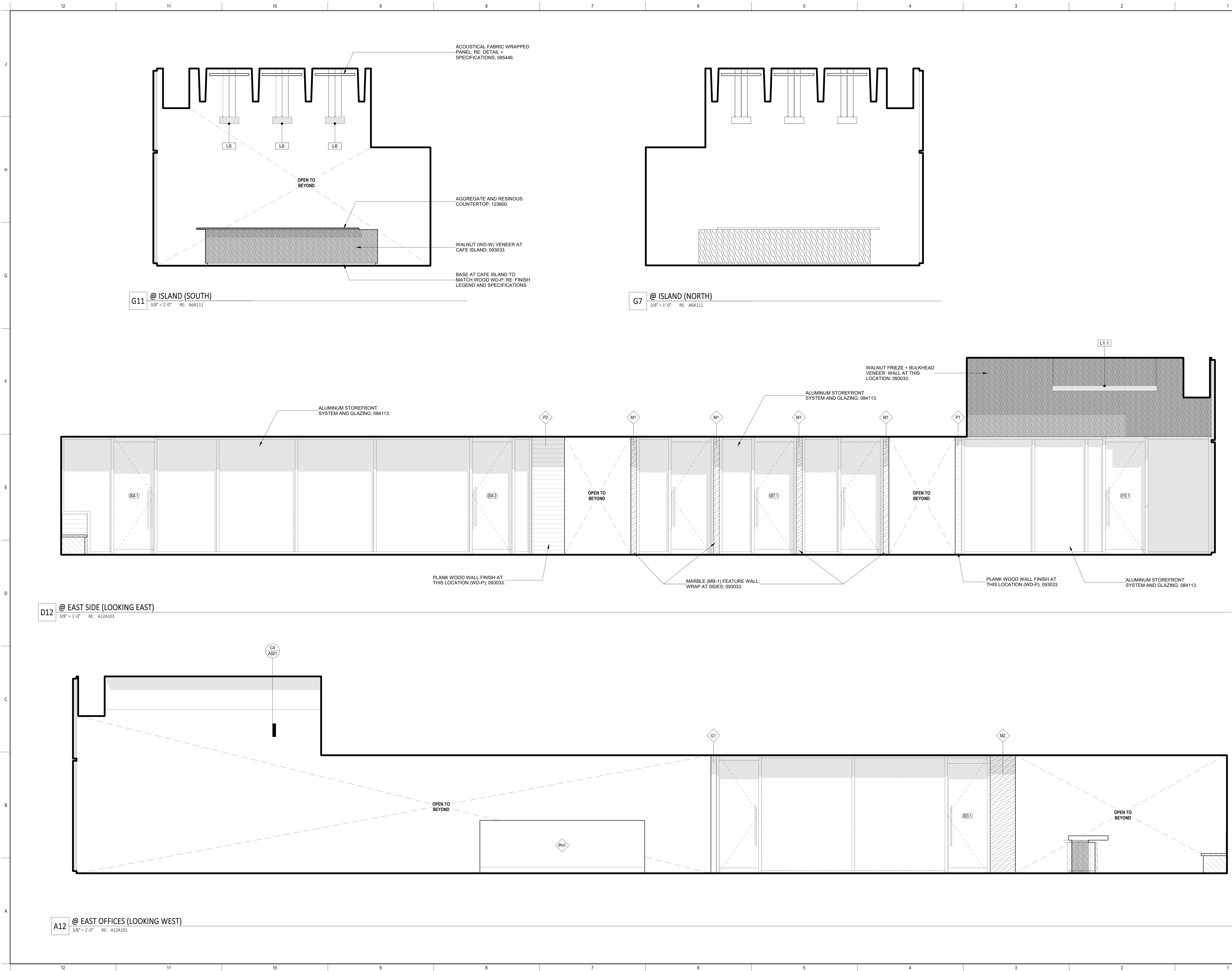
DATE

INTERIOR ELEVATIONS

ID204

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:28:24 PM



OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE

D MAGINN

PROJECT TEAM MEMBERS

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR
IMPLEMENTATION.

RELEASE SCHEDULE

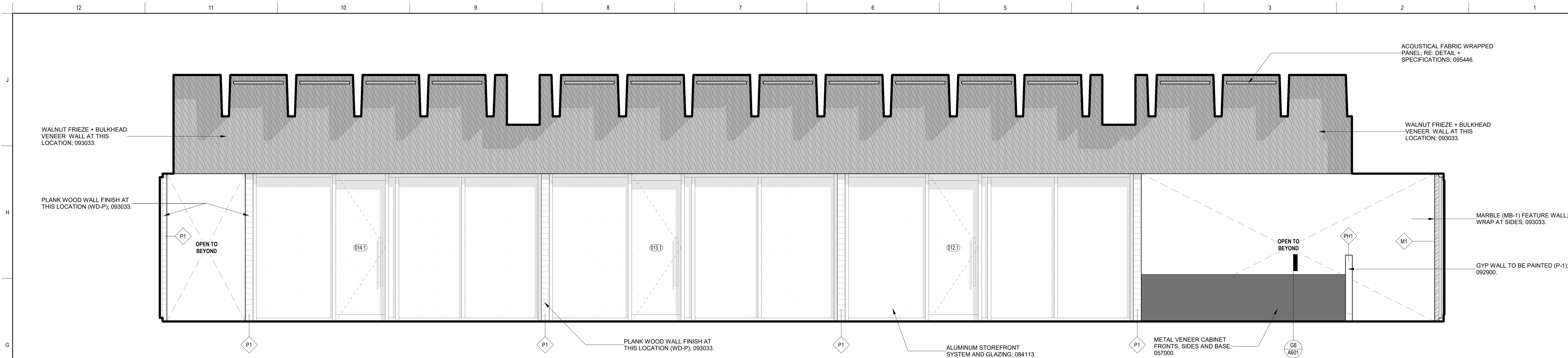
NO RELEASE DATE

INTERIOR ELEVATIONS

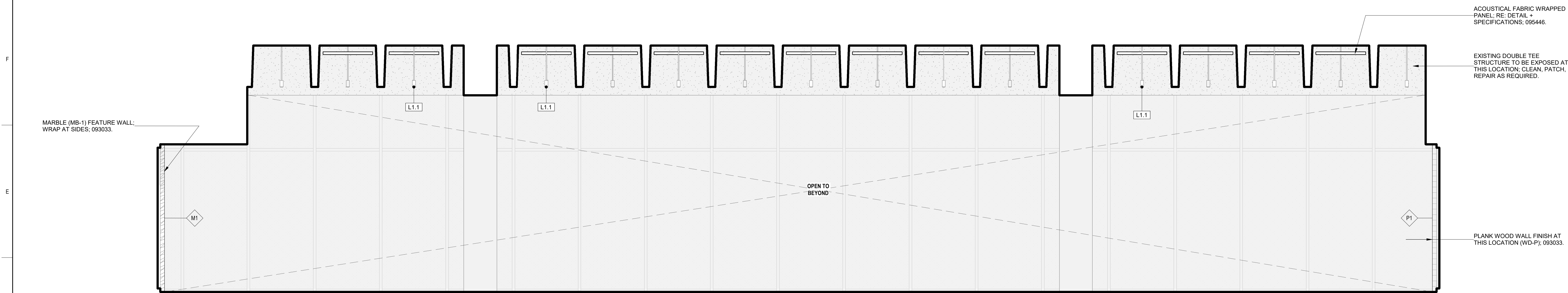
ID205

NOT FOR CONSTRUCTION

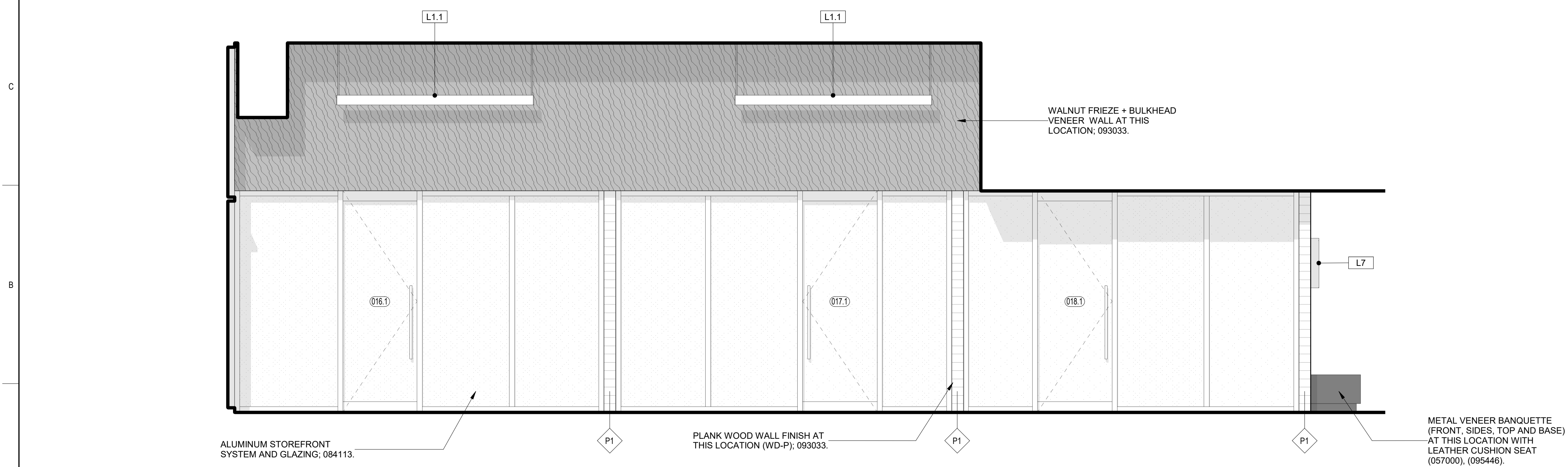
Printed 11/19/2018 2:28:37 PM



G12 @ NORTH OFFICE (LOOKING NORTH)
3/8" = 1'-0" RE: A12A101



D12 @ NORTH OFFICES (LOOKING SOUTH)
3/8" = 1'-0" RE: A12A101



A12 @ WEST SIDE (LOOKING WEST)
3/8" = 1'-0" RE: A12A101

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-9478

ACOUSTICAL FABRIC WRAPPED
PANEL; RE: DETAIL +
SPECIFICATIONS; 095446.

WALNUT FRIEZE + BULKHEAD
VENEER WALL AT THIS
LOCATION; 093033.

MARBLE (MB-1) FEATURE WALL;
WRAP AT SIDES; 093033.

GYP WALL TO BE PAINTED (P-1);
092900.

METAL VENEER CABINET
FRONTS, SIDES AND BASE;
057000.

ACOUSTICAL FABRIC WRAPPED
PANEL; RE: DETAIL +
SPECIFICATIONS; 095446.

EXISTING DOUBLE TEE
STRUCTURE TO BE EXPOSED AT
THIS LOCATION; CLEAN, PATCH,
REPAIR AS REQUIRED.

PLANK WOOD WALL FINISH AT
THIS LOCATION (WD-P); 093033.

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

ORIGINAL DRAWINGS SCALE TO 30" x 42" SHEET

PROPORTION: 1/4" = 1'-0"

D MAGINN

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR
IMPLEMENTATION.

RELEASE SCHEDULE

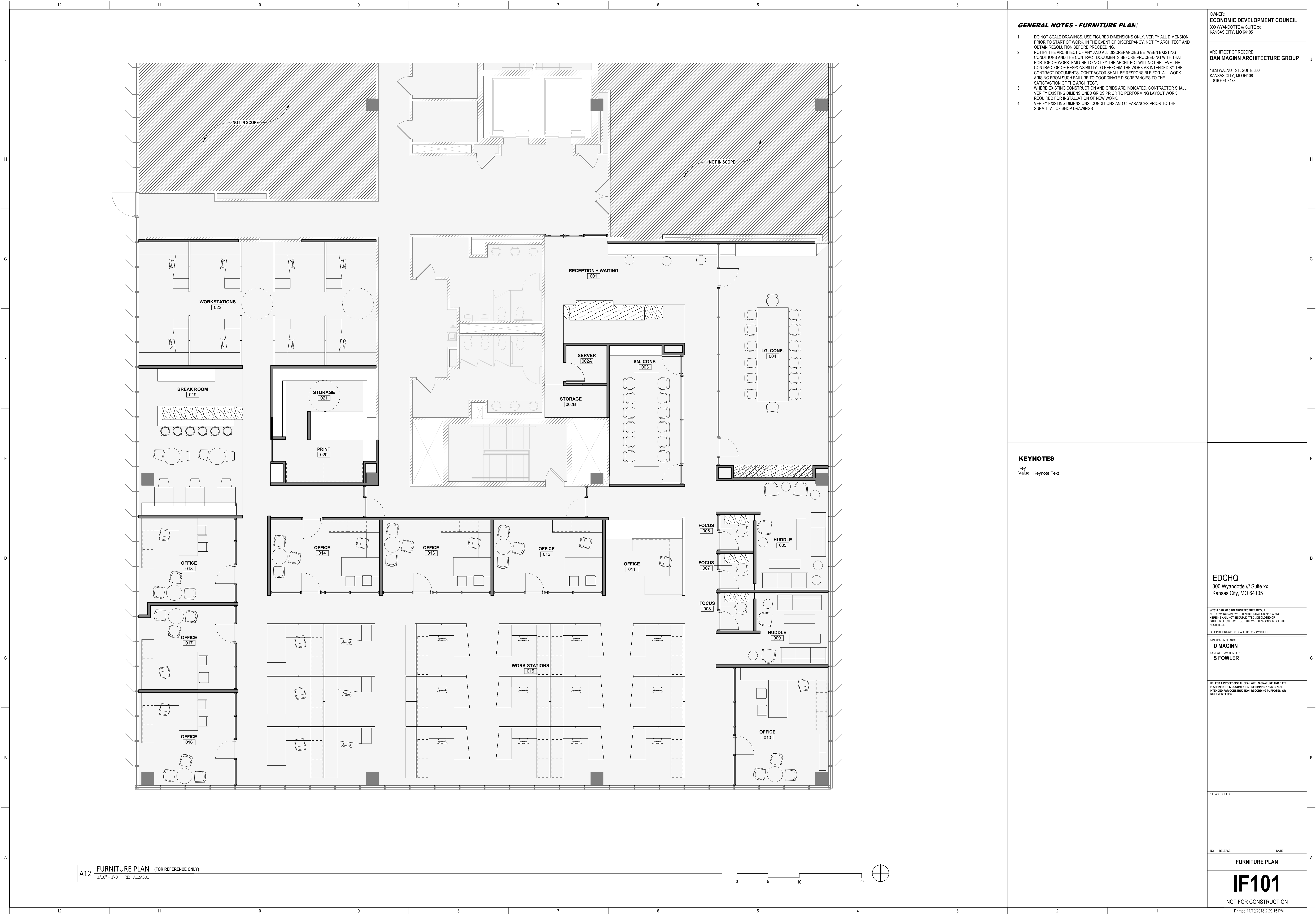
NO RELEASE DATE

INTERIOR ELEVATIONS

ID206

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:29:04 PM



GENERAL NOTES - FURNITURE PLAN

- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSION PRIOR TO START OF WORK. IN THE EVENT OF DISCREPANCY, NOTIFY ARCHITECT AND OBTAIN RESOLUTION BEFORE PROCEEDING.
- NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
- WHERE EXISTING CONSTRUCTION AND GRIDS ARE INDICATED, CONTRACTOR SHALL VERIFY EXISTING DIMENSIONED GRIDS PRIOR TO PERFORMING LAYOUT WORK REQUIRED FOR INSTALLATION OF NEW WORK.
- VERIFY EXISTING DIMENSIONS, CONDITIONS AND CLEARANCES PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.

OWNER:
ECONOMIC DEVELOPMENT COUNCIL
300 WYANDOTTE III SUITE xx
KANSAS CITY, MO 64105

ARCHITECT OF RECORD:
DAN MAGINN ARCHITECTURE GROUP

1828 WALNUT ST, SUITE 300
KANSAS CITY, MO 64108
T 816-674-8478

KEYNOTES

Key
Value Keynote Text

EDCHQ
300 Wyandotte III Suite xx
Kansas City, MO 64105

© 2018 DAN MAGINN ARCHITECTURE GROUP
ALL DRAWINGS AND WRITTEN INFORMATION APPEARING
HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR
OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE
ARCHITECT.

ORIGINAL DRAWINGS: SCALE TO 30" x 42" SHEET

PROPOSAL IN CHARGE

D MAGINN

PROJECT TEAM MEMBERS

S FOWLER

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE
IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT
INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR
IMPLEMENTATION.

RELEASE SCHEDULE

NO RELEASE

DATE

FURNITURE PLAN

IF101

NOT FOR CONSTRUCTION

Printed 11/19/2018 2:29:15 PM